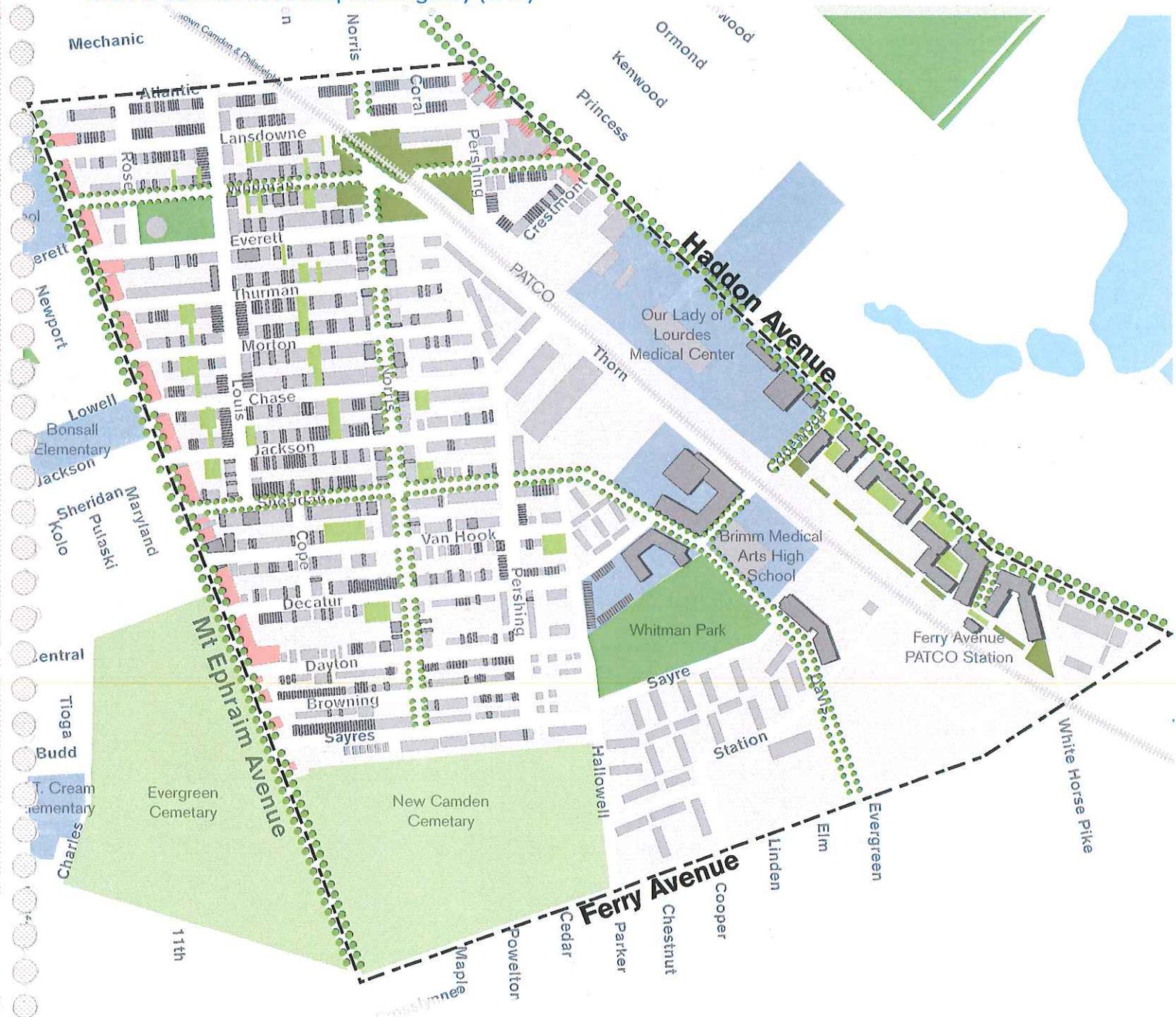


# WHITMAN PARK

# REDEVELOPMENT PLAN

Prepared for the City of Camden Department of Planning and Development  
and the Camden Redevelopment Agency (CRA)



Prepared by  
Wallace Roberts & Todd, LLC  
Planning and Design  
with  
The Enterprise Center

July 6, 2015

# WHITMAN PARK

## REDEVELOPMENT PLAN

Prepared for:

The Honorable Dana L. Redd, Mayor, City of Camden, New Jersey

City of Camden Planning Board

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July 6, 2015

"The integrity of a man is defined by his legacy. This is  
the legacy of G. Ronald Green."

- The Green Family

Prepared by



Wallace Roberts & Todd, LLC

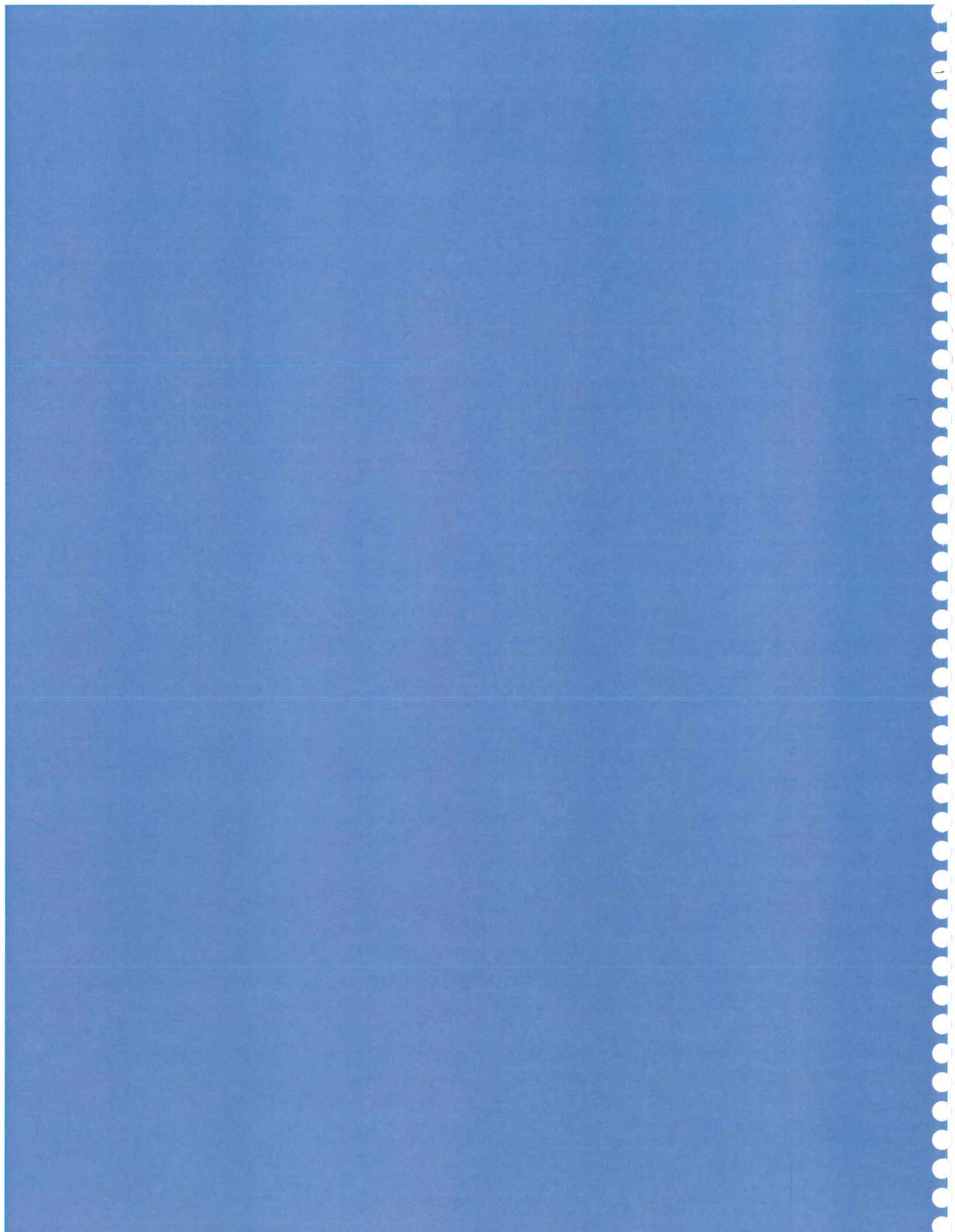
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with

The Enterprise Center

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# INTRODUCTION

## Purpose

Positive change is coming to Whitman Park. Large scale measures are necessary to successfully counter pervasive disinvestment over the past 2 decades. The City of Camden is committed to transforming Whitman Park from a neighborhood of distress into a neighborhood of choice where, once again, people will choose to buy a home, open a business, and raise a family. In New Jersey, this type of large scale neighborhood transformation is possible through a Redevelopment Plan as permitted by Local Redevelopment and Housing Law and in accordance with an adopted municipal redevelopment plan.

The Whitman Park Redevelopment Plan follows a determination by the governing body of the City of Camden that the Whitman Park neighborhood is an "Area In Need of Redevelopment" as established in the New Jersey Local Redevelopment and Housing Law N.J.S.A. 40A-12A-1. Located in an Urban Enterprise Zone and a state Designated Center for Smart Growth, the neighborhood's state of severe disinvestment in the form of vacant lots, vacant buildings, and high crime make the entire neighborhood prime for redevelopment.

The primary goal of this Redevelopment Plan is to revitalize the Whitman Park neighborhood and to transform it into a safe and stable residential community in its core while strengthening mixed-use corridors along its edges.

This Plan establishes a framework to guide future development that will build on the neighborhood's unique assets - Ferry Ave PATCO Station, parks, hospitals, existing and planned schools, and 2 major employers (Virtua Health and Our Lady of Lourdes Hospital). Complete revitalization will require a channeling of local, county, state and federal resources, and most importantly an infusion of much needed confidence in the market- primarily that home-ownership investments are worthwhile.

The zoning and design standards in this plan shall supersede the City's current Zoning Ordinance.

**Under no circumstances will the city acquire commercial or residential properties that are occupied – either by renters or owners.**

**If you are a Whitman Park property owner**, you can take advantage of financial and tax incentives to upgrade your property.

**If you are a renter**, development of affordable homeownership units will provide opportunities for you to build equity by owning a home instead of renting.

**If you are raising a family**, the adopted plan will call for clean parks, safe streets, and community facilities.

# Study Area

The Whitman Park study area encompasses 288 acres and is located at the southern edge of the City of Camden (Figure 1). Defined as U.S. Census Tract 6015, the study area is bounded by Atlantic Avenue to the north, Haddon Avenue to the east, Ferry Avenue to the South, and Mt. Ephraim Avenue to the West.

The study area's Ferry Avenue Station provides access to the PATCO high speed train line. Whitman Park is also highly accessible by car via the Route I-676 interchange. These transportation connections provide direct links

to government, employment, retail, entertainment, and social services found in downtown Camden and Philadelphia.

Major health facilities in and at the periphery of the study area include Virtua Hospital and Our Lady of Lourdes Medical Center. The City of Camden School District serves Whitman Park. Schools within the study area include Henry Bonsall Public School and Brimm Medical Arts High School. Recreation and community facilities are offered at Whitman Park.

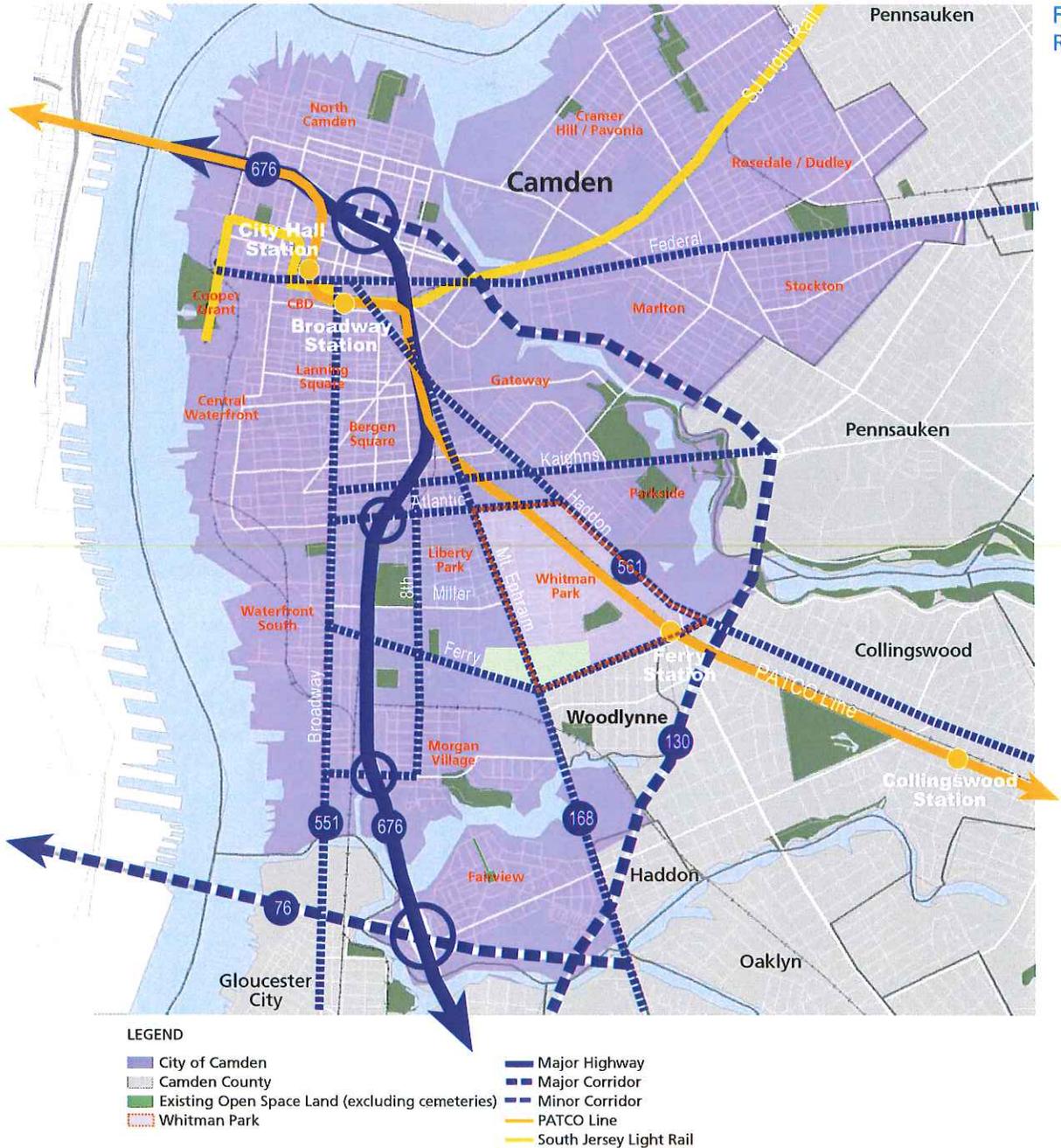


Figure 1 Regional Context

Whitman Park and Whitman Square (water tower park) are two key recreational assets in the neighborhood. Additional assets unique to the Whitman Park neighborhood are the Ferry Ave PATCO station, the hospitals (Virtua Health and Our Lady of Lourdes) and very vibrant commercial corridors of Mt. Ephraim and Haddon Avenues. Most of the housing stock in the neighborhood are two story attached homes. While the neighborhood contains a high number of vacant residential buildings, many of those buildings are intact structurally and have the potential for rehabilitation.

Many vacant lots are overgrown and strewn with trash. Pervasive vacancy in the neighborhood leads to a lack of “ownership” of many of the streets which in turn leads to further crime and vandalism. The Whitman Park Redevelopment Plan will draw from the neighborhood’s rich assets and develop a strategy to turn the tide on the continuing disinvestment.

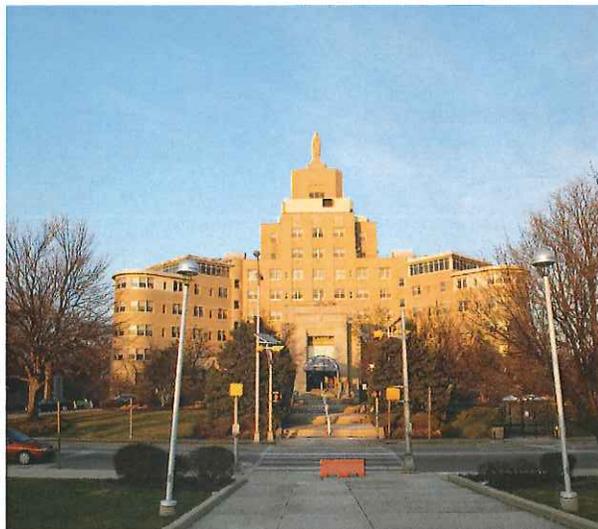
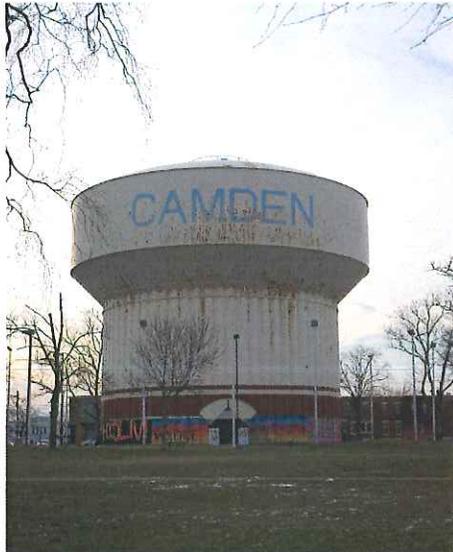
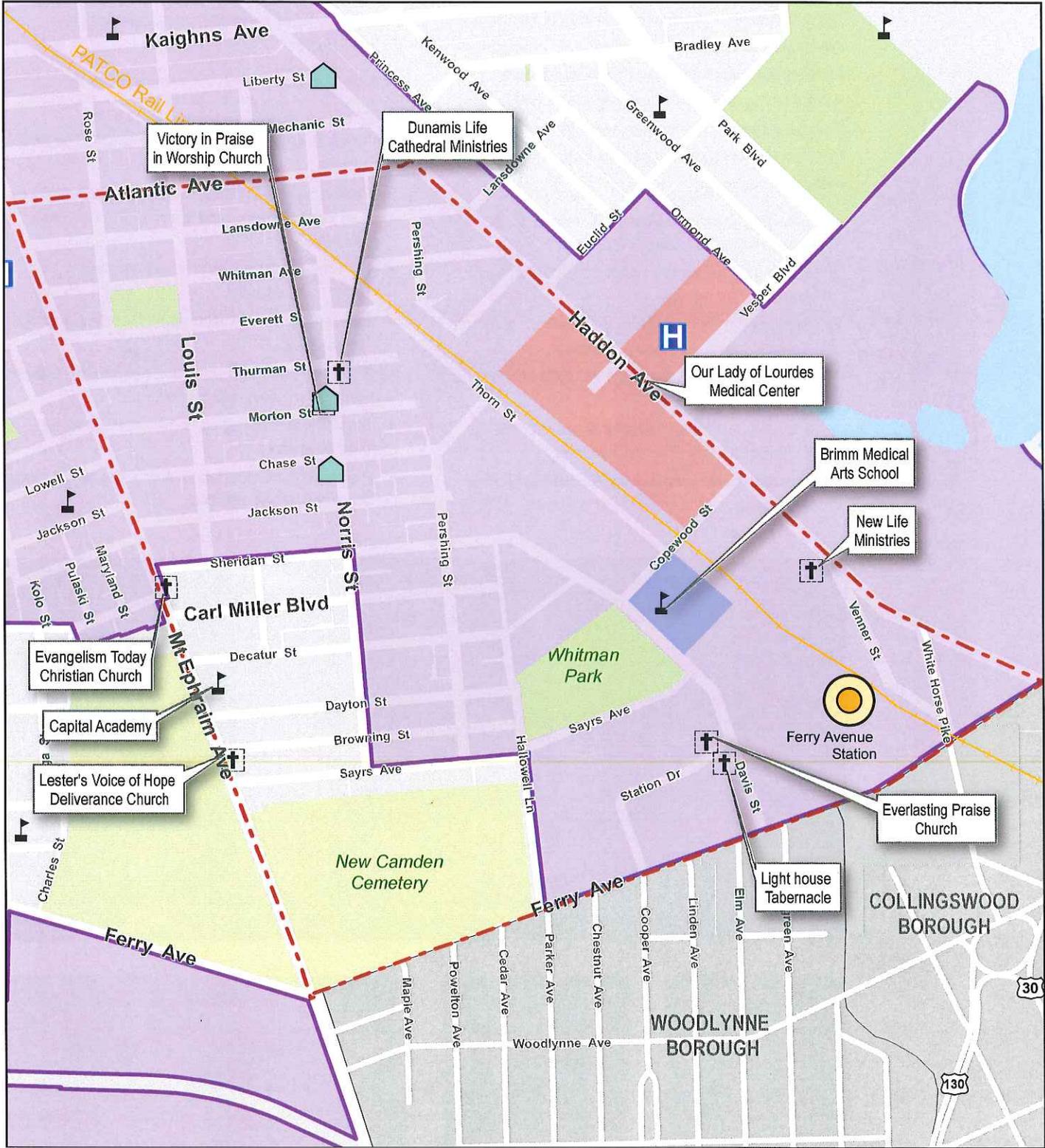


Figure 2 Neighborhood Assets Map



- Whitman Park Boundary
- Park
- School Parcel
- Water
- Hospital Parcel
- NJ Urban Enterprise Zone
- School
- Hospital
- Community Center
- Church

## Community Engagement

The Whitman Park Redevelopment Plan is a community driven plan. In addition to the dozens of community / stakeholder meetings and neighborhood tours related to the Camden Choice Neighborhood planning process, 3 steering committee meetings and 3 community meetings were held to gather input for this redevelopment plan.

- Steering Committee Meeting 1- March 11, 2014 at Camden City Hall Council Chambers
- Community Meeting 1- March 25, 2014 at Virtua Health
- Steering Committee Meeting 2- April 17, 2014 at Camden City Hall Council Chambers
- Community Meeting 2- April 24, 2014 at New Life Campus
- Steering Committee Meeting 3- May 12, 2014 at Camden City Hall Council Chambers
- Community Meeting 3- May 20, 2014 at United Neighbors

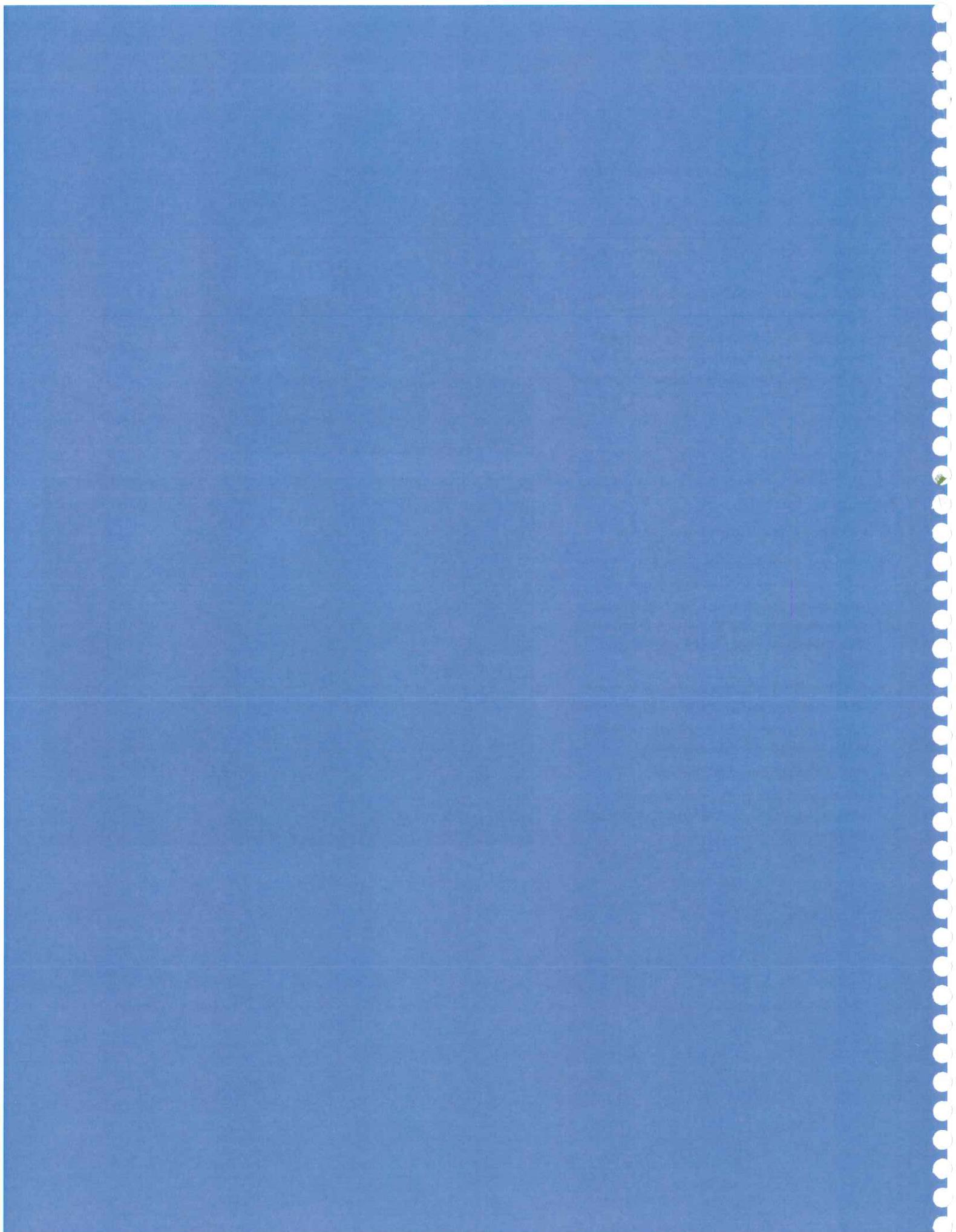
### March 25, 2014 Community Meeting at Virtua Health

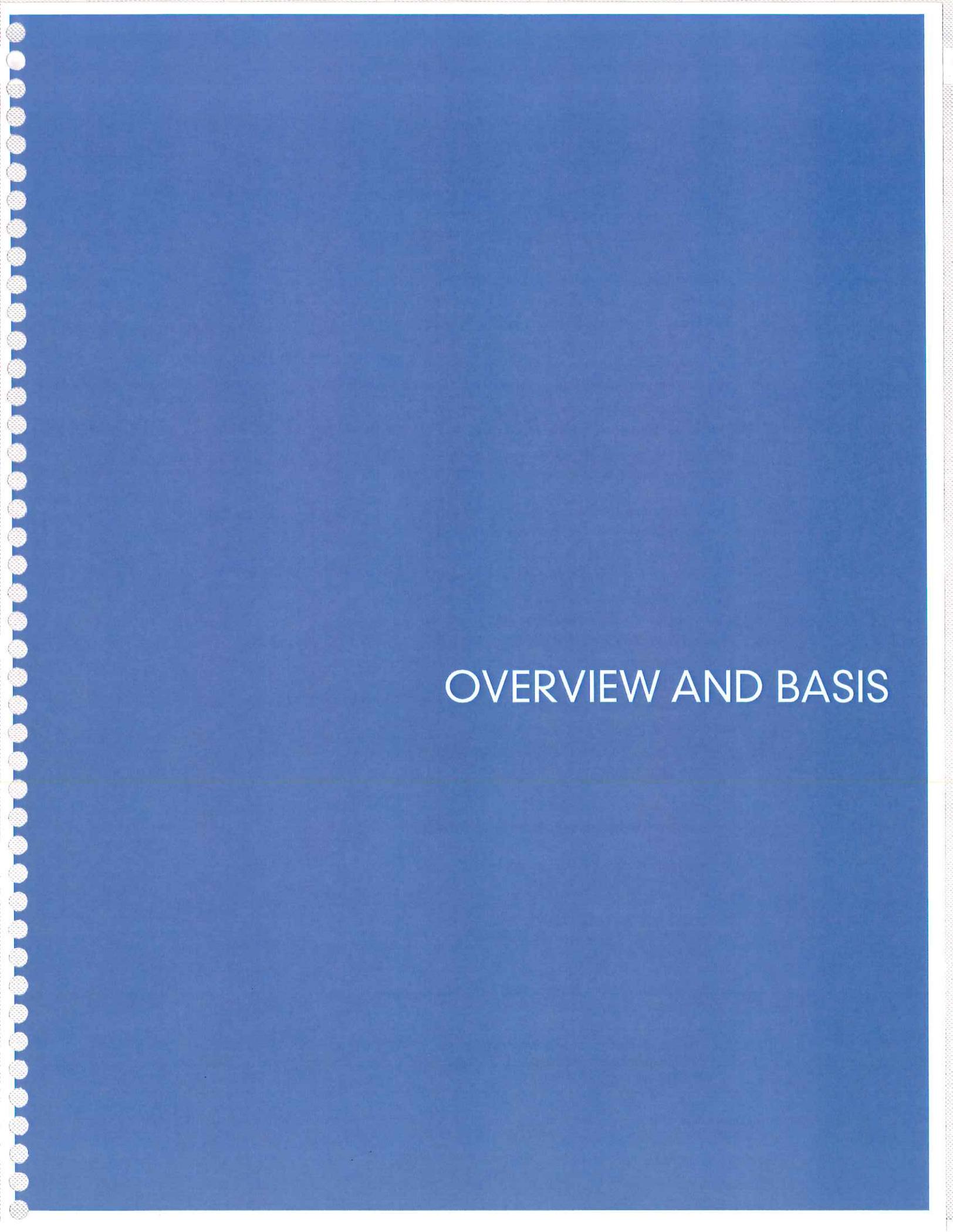
What we heard at the first community meeting:

- There are many committed Whitman Park homeowners who are ready to champion positive change.
- Build on assets of parks, hospitals, PATCO station, community centers, and schools (proposed and existing).
- Mt. Ephraim should be strengthened as a commercial corridor.
- Interface between industrial and residential should be improved.
- There are many bad areas that need to be changed - particularly drug activity hotspots.
- Subsidies for existing homeowners to improve their properties.
- Poor quality of some rental properties are bringing down the neighborhood.









# OVERVIEW AND BASIS

## The Vision for the Area

Whitman Park is a neighborhood characterized by both great distress but also great opportunity. Portions of the neighborhood experience very high levels of crime and suffer from a general state of vacancy and dis-repair. However, other pockets of the neighborhood experience home ownership rates well above the median average for the city of Camden, with some blocks exceeding the 50% mark. In addition to this, a variety of assets are already present in the neighborhood: close proximity to two hospitals, a school, two parks, and a transit station with direct access into regional urban centers. Finally, the vacant parcels adjacent to the train station are less of a burden as they are launching point for re-development and re-investment.

This redevelopment plan aims to provide the framework for re-investment and re-development in the Whitman Park neighborhood. This re-investment is likely to take many different forms. In some locations, low-cost interventions will provide the first steps toward alleviating distress and “setting the table” for further investment. In other locations, where the opportunity to make the greatest impact exists, a higher concentration of re-investment is called for. Finally, in strategic locations the plan identifies opportunities to execute larger scale re-development projects that can both capitalize on existing assets and become an asset to the neighborhood in their own right.

- 1 - Strengthen the existing commercial corridor
- 2- Stabilize: address the vacant lots and abandoned properties issue.
- 3 - Reinvest: foster investment in the neighborhood through home ownership programs.
- 4- Re-purpose: convert abandoned industrial properties to new uses.
- 5- Develop: capitalize on the proximity of the PATCO station and encourage TOD-style development near the station.



Figure 3 Concept Plan



## Plan Relationships

### Relationship to City of Camden Master Plan

Adopted by the Planning Board on March 12, 2012, FutureCAMDEN establishes a framework for the physical development of the City. The comprehensive master plan outlines the following recommendations supporting the land use plan for Whitman Park:

- Establish medium density residential land use through infill housing development and rehabilitation is recommended in this neighborhood area.
- Create a transit-oriented mixed-use development center around the PATCO Ferry Avenue station involving high density residential, office, limited retail and commercial services. Redevelopment of surface parking lots and underutilized commercial/industrial service land east of the rail line would form the core of this new transit zone. Rehabilitation, infill and conversion of existing office and multi-family uses south of Sayre Avenue is also recommended to complete this new transit-oriented mixed-use development center.
- Develop medical and support uses opposite the Our Lady of Lourdes Medical Center, generally between Whitman Avenue and Copewood Street and west of Haddon Avenue to Davis Street.
- Create green corridor landscape buffers along the high speed rail line corridor.
- Compact and improved retail land uses along the east side of Mt. Ephraim Avenue from Whitman Avenue to Van Hook Street and along the west side of Haddon Avenue from Atlantic to Whitman Avenue is recommended.
- Renovate Brimm Medical Arts High School and build a new Elementary School #2 (vicinity of Jackson and Pershing Streets).
- Upgrade parks, recreation and open space along with community facilities throughout the neighborhood. Refurbish Whitman Park and Whitman Square. Create mini-park at Jackson and Morris Streets.

The Master Plan also recommended implementation of the following physical project activities specific to the Whitman Park:

- Rehab vacant stock- 170 units.
- Incorporate units designated for elderly households in new developments.

- Target infill/rehab activities along Haddon Avenue corridor in the vicinity of Atlantic Avenue.
- Develop mixed income housing as part of transit-oriented development at Ferry Avenue station.
- Prepare a neighborhood plan for Whitman Park and then a redevelopment plan for identified improvement action areas.

### Relationship to Local Plans

As a part of Camden's the [Master Redevelopment Plan](#), adopted in 2003, the City of Camden undertook a city-wide effort to create new and update outdated neighborhood plans. The Master Redevelopment Plan is the guiding document for Camden's economic recovery and revitalization, as required by the 2002 Municipal Rehabilitation and Economic Recovery Act. The plan recommends that the City and the State's Economic Recovery Board (ERB) utilize program funds to support planning activities in those areas of the City, identified as "Transitional/Future Development Areas" that have not yet developed neighborhood plans or need to revise older plans. Whitman Park was identified as one of these areas and received ERB funding for the 2007 Whitman Park Neighborhood Plan.

The purpose of the [Whitman Park Neighborhood Plan](#) was to develop strategies for neighborhood revitalization that reflected the needs and desire of the community. The Whitman Park Neighborhood Plan recommended:

- Redevelopment of the large institutional and industrial tracts to promote revitalization in Whitman Park's established residential section.
- New transit-oriented development surrounding the Ferry Avenue Station to encourage renovation of Whitman Park's existing residential units.
- New schools on vacant industrial properties to provide improved community services to the neighborhood and attract middle-class families to the community.
- A new boulevard along Davis Street, traffic-calming system on Louis and Norris Streets, and reconfigured Mt. Ephraim Avenue commercial district to create a safer, more attractive, and vibrant Whitman Park.

In 2012, the Department of Housing and Urban Development (HUD) awarded the Housing Authority of the City of Camden (HACC) a \$300,000 Choice Neighborhood Planning Grant for the [Mt. Ephraim Corridor Choice Neighborhood](#). The Mt. Ephraim Corridor includes the neighborhoods of Liberty Park, Centerville, and Whitman Park. The Choice Neighborhoods Initiative supports comprehensive neighborhood revitalization by using the redevelopment of distressed public housing as a catalyst for neighborhood wide transformation. The Mt. Ephraim Corridor Choice Neighborhood Transformation Plan establishes strategies to address community-wide priority concerns including, improved housing, safety, neighborhood improvements, employment and programs for youth.



**Whitman Park Neighborhood Plan:** The illustrative plan illustrates the recommended revitalization and new development of housing and community.

This [Whitman Park Redevelopment Plan](#) provides site control and land use approvals that are necessary to support and implement the [Mt. Ephraim Corridor Choice Neighborhood Transformation Plan](#). Most notably:

- the acquisition of vacant, deteriorated, and abandoned structures in Whitman Park in the near term to be substantially rehabbed or demolished
- Development of new or rehabbed homeownership units in strategic areas of the neighborhood in the long term
- Development of affordable rental units adjacent to Whitman Park (recreational park) in the near term
- Development of senior units in the TOD district in the near term
- Development of workforce units in the TOD district in the near term
- Development of mixed-income rentals at the Ferry Ave PATCO station in the long term

## Determination of Need Conclusions

This study determines that specific parcels within the Whitman Park neighborhood meet the criteria for an area in need of redevelopment pursuant to N.J.S.A. 40:12A as set forth in the Local Redevelopment and Housing Law.

Primary determination is based on [criterion A. Deterioration](#) (N.J.S.A. 40A: 12A-5.a). Subject buildings are substandard – poor in quality as a result of either being abandoned or poorly maintained. Observation of building exteriors also show dilapidation including one or more of the following characteristics: missing windows and/or doors, damaged and aged siding and/or brick, damaged and aged key building components – porches, eaves, soffits, gutters, leaders. The substandard and dilapidated nature of this building is conducive to unwholesome living conditions.

Primary determination is also based on [criterion B. Abandoned Commercial and Industrial Buildings](#) (N.J.S.A. 40A: 12A-5.b). Several buildings were once commercial, manufacturing, or industrial use, but are no longer serving that use. These buildings also appear abandoned and is being allowed to fall into so great a state of disrepair as to be untenable.

Primary determination is also based on [criterion C. Public and Vacant Land](#) (N.J.S.A. 40A: 12A-5.c). Several properties are owned by the municipality, the county, a local housing authority, redevelopment agency or redevelopment entity, or they are private properties that are also unimproved vacant land that have remained so for a period of ten years prior this study, and that by reason of its location, remoteness, lack of means of access to developed sections or portions of the municipality, or topography, or nature of the soil, is not likely to be developed through the instrumentality of private capital. These vacant private properties have remained vacant for over a decade due to lack of market demand primarily affected by general neighborhood decline.

Primary determination is also based on [criterion I. Properties Necessary for Redevelopment](#) (N.J.S.A. 40A:12A-3). which provides in part that “a

redevelopment area may include land, buildings or improvements which of themselves are not detrimental to public health, safety or welfare, but the inclusion of which is found necessary, with or without a change in this condition, for the effective redevelopment of the area of which they are a part.” Due to the fragmented nature of parcel findings under Criteria A, B and C, it is necessary to include several non-impacted “bridging” parcels to allow for future redevelopment to occur at a large enough scale to create meaningful revitalization.

Primary determination is also based on [criterion D. Obsolete Layout and Design](#) (N.J.S.A. 40A: 12A-5.d). Factors that are detrimental to the safety, health, morals, or welfare of the community include the following:

- Population decline (page 26)
- Decline of Socioeconomic Indicators (page 26)
- Concentration of Crime (page 22)
- Increase of Unemployment Rate (page 26)
- Inordinately High % of Vacant Units (page 16)
- Inordinately High % of Renter Occupied Units (page 18)
- Absence of New Construction Residential Investment (page 27)
- Measures to Curb Tax Delinquency (page 27)
- History of Vacant Land (page 24)

Additionally, housing stock in Whitman Park is predominantly over 40 years old and the typical lot is narrow (15-18 feet) with no front or side yards. These factors also contribute to the detriment of safety, health, morals, or welfare of the community.

The secondary criterion for this determination is based on [criterion H. Smart Growth Consistency](#) (N.J.S.A. 40A:12A-5.h). The entire Whitman Park neighborhood is classified in The Office of Planning Advocacy's State Plan as an Urban Center.<sup>1</sup> All properties that meet primary findings criteria of A, B and C also meet this secondary finding. In New Jersey, Smart Growth supports development and redevelopment in Centers, as identified by the State Development and Redevelopment Plan.

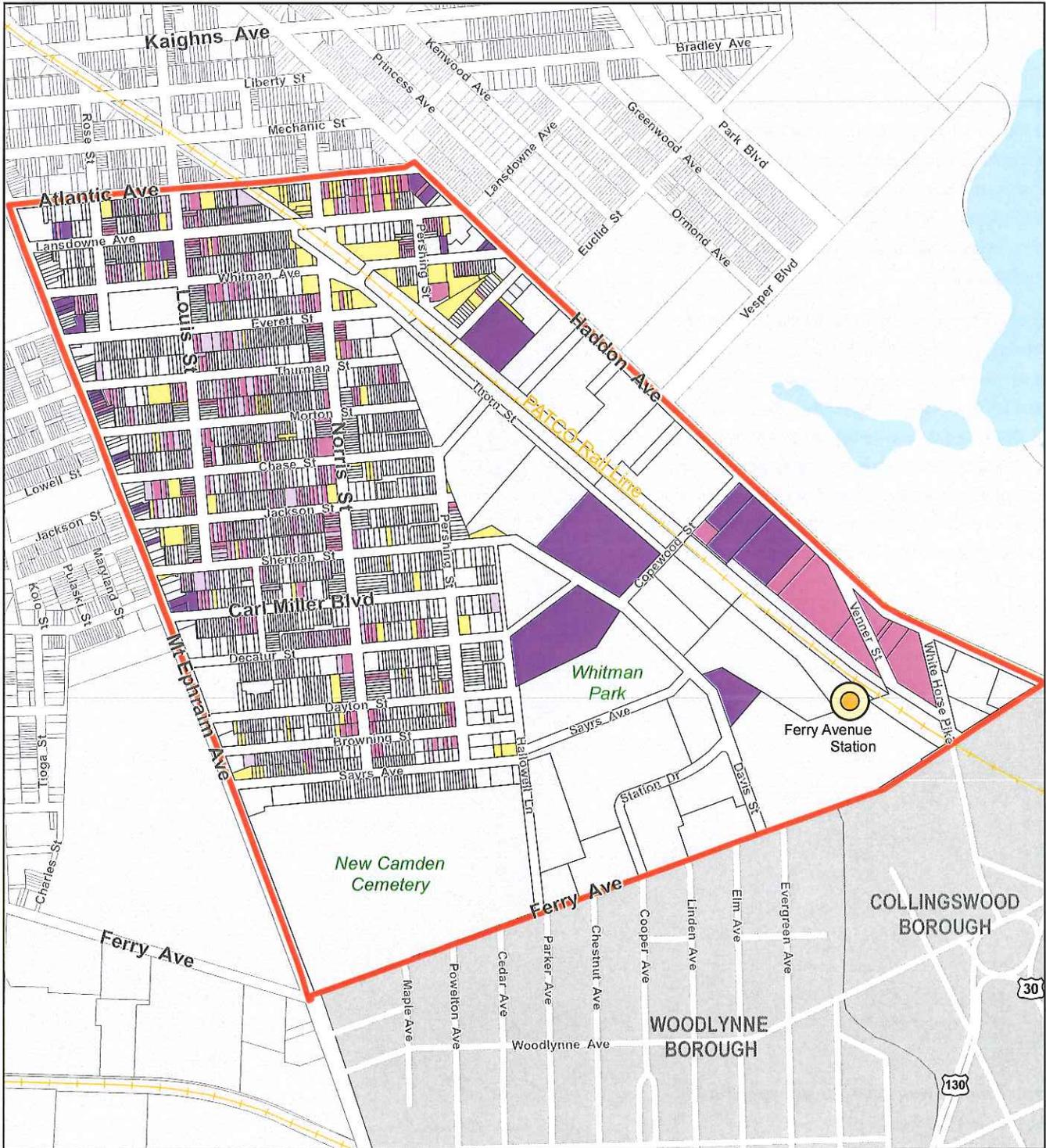
Secondary determination is also based on [criterion G. Urban Enterprise Zones](#) (N.J.S.A. 40A: 12A-5.g). Most of the parcels that meet primary findings of A, B and C fall within the Camden City Urban Enterprise Zone. Prompted by New Jersey Urban Enterprise Zone Act of 1983, the City of Camden was designed as an Urban Enterprise Zone in 1984. The UEZ program was created to revitalize distressed urban communities by fostering investment and creating private sector jobs.<sup>2</sup>

<sup>1</sup> "Smart Growth." New Jersey Department of State. N.p., n.d. Web. 30 Apr. 2014.

<sup>2</sup> "City of Camden." City of Camden. N.p., n.d. Web. 05 May 2014.

<sup>3</sup> U.S. Census Bureau; American Community Survey, 2013 American Community Survey 5-Year Estimates

Area in Need of Redevelopment



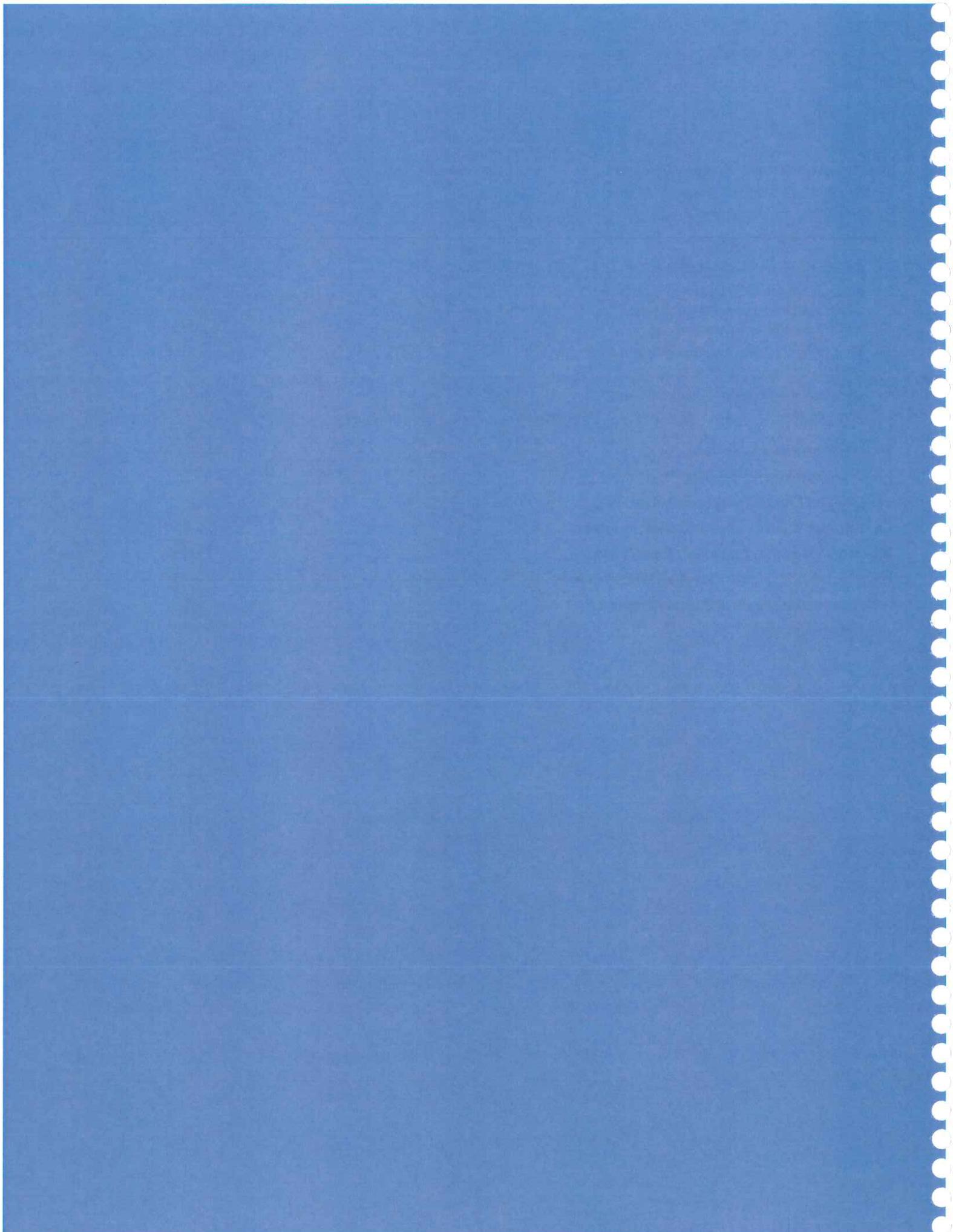
- Proposed Area in Need of Redevelopment
- Criterion A - Deterioration
- Criterion B - Abandoned Commercial & Industrial Buildings
- Criterion C - Public & Vacant Land
- Criterion I - Non-Conforming but Necessary

  
 Data Sources: City of Camden, NJDEP  


The findings of this study indicate that the entire Whitman Park neighborhood (Census Tract 6015) qualify for designation as an area in need of redevelopment in accordance with N.J.S.A. 40A:12A.

- Individual parcels meet criteria A, B, C, or I.
- All parcels in neighborhood meet criterion D factors that are detrimental to the safety, health, morals, or welfare of the community
- Most of the parcels in neighborhood also meet criterion G. Urban Enterprise Zone
- All parcels meet criterion H. Smart Growth Consistency

**The Whitman Park Area in Need of Redevelopment report recommends that the Camden City Planning Board and City Council, after public notice and hearings, make a determination that the entire Whitman Park Neighborhood (Census Tract 6015) is in need of redevelopment and should be designated a redevelopment area.**



# THE PLAN

## Redevelopment Plan Goals and Objectives

### Plan Objectives

The Redevelopment Plan's three main goals were developed with input from the steering committee and supported by community residents who attended the public meetings.

#### Goal 1

##### **Build on existing assets: Investments in areas of strengths**

Blight and disinvestment is evident throughout the neighborhood with higher concentrations in some areas. The first goal of the Whitman Park Redevelopment Plan is to invest first in areas of strength- near existing parks, proposed schools, existing employment centers, and in "edge" areas - parts of the neighborhood that are at the brink of slipping into severe decline.

#### Goal 2

##### **Create a safe place to raise a family: Prime and incent homeownership**

The consensus among stakeholders and neighborhood residents is that the concentration of low quality rentals and vacant properties are two of the main contributors to the high crime rate and general distress. The second goal of the Redevelopment Plan is to raise the homeownership rate in the neighborhood. This will be achieved by a multi-pronged strategy: public investments in parks and schools; adequate incentives to attract the private market to build desirable homeownership products; and enough economic incentives to convert a portion of existing renters to homeowners.

#### Goal 3

##### **Develop innovative vacant land/building strategies: Land management strategy**

In the near term there will be vacant properties in Whitman Park as short term demand for new and rehabbed homes will not outpace the rate of vacancy. The third goal of this Redevelopment Plan is to manage vacant land in the interim without disadvantaging future development.

### CASE STUDY



**Centerville - Camden HOPE VI, Camden, NJ**

Roosevelt Manor is a multi-phase affordable housing redevelopment successfully implemented by the Housing Authority of the City of Camden. This new community replaced one of the oldest and most outdated public housing superblocks in the nation. Redevelopment was made possible by a 2003 HOPE VI grant from HUD.

The new neighborhood consists of a one, two, three, and four-bedroom mix totaling 228 units with various plans and accessibility options, an 8,800-SF community building with business and service amenities, and multiple playgrounds within the "walkable" site.

## CASE STUDY



### Baltimore Healthy Neighborhoods, Baltimore, MD

The Baltimore Healthy Neighborhoods Initiative (HNI) began in 2000 as a consortium of private-public-philanthropy partnerships aiming to stabilize “in the middle” neighborhoods in Baltimore – neighborhoods that have weak but still functioning real estate markets. These neighborhoods appear stable, but are in fact suffering from disinvestments of both money and civic engagement. The strategy seeks to turn these neighborhoods into healthy neighborhoods- places where residents want to and do invest time, money, and energy into the neighborhood and their homes.

Healthy Neighborhoods funding primarily goes to home improvement loans to help homes that need minor repairs to look better. This funding could go to lighting, landscaping, painting, and other surface improvements. There are no income restrictions in this program because restricting assistance to low-income groups may indicate to outsiders that a neighborhood is in trouble. Loans are given to those who can pay them back; the program goal is to minimize foreclosure in the neighborhood.

Image: <http://www.greaterhomewood.org/2012/01/healthy-neighborhoods-featured-home-616-east-35th-street/>

## CASE STUDY



### PHS - Philadelphia Green, Philadelphia, PA

The Pennsylvania Horticultural Society (PHS) Vacant Land Stabilization program—Philadelphia Green—works hand-in-hand with community-based organizations and the City to transform vacant land into community assets. By making the land more attractive, communities are better able to retain existing residents and businesses while attracting new ones. Sites are meant to be improved until they can be redeveloped for a higher purpose. Actions include cleaning and mowing the grounds, laying topsoil, planting seeds, and adorning the area with new trees and fencing.

The program is two-pronged: it includes identifying vacant sites and improving them through the help of community groups, and also working thereafter to maintain the land. After completion, all of the sites are assigned a maintenance crew which is comprised of community groups, non-profits, and neighborhood organizations.

In the past decade, nearly 9 million square feet of land have undergone this treatment. The program has used innovative practices to transform over 11,000 vacant lots in the City. As a program of the Pennsylvania Horticultural Society, the vacant land stabilization program is able to be intertwined with other PHS programs, such as educational programs and Citywide park planning.

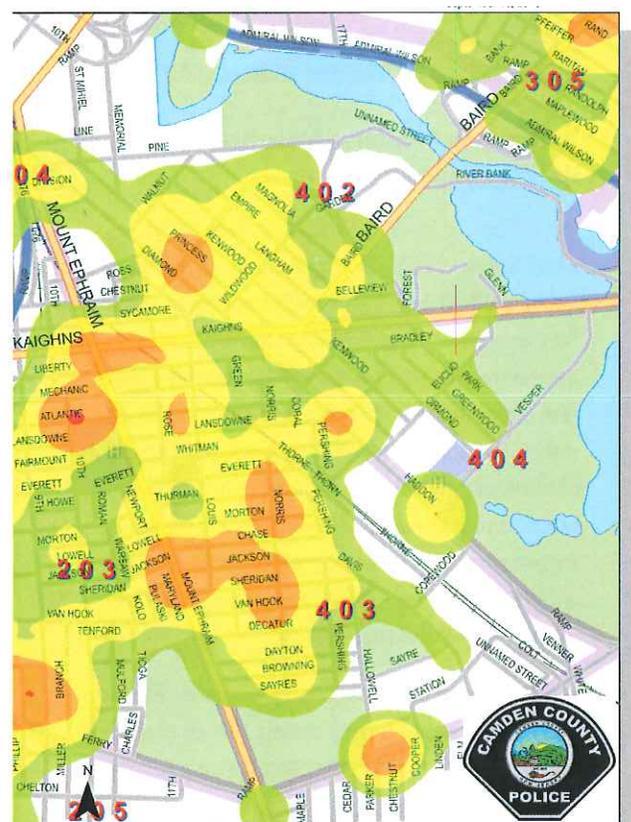
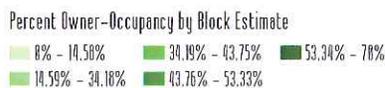
# Analysis

## Neighborhood Assessment

Through a community engagement process and analysis of data, the plan identifies areas of strength as well as areas of distress. Also identified as a part of the evaluation process are “areas of change” where changes in land-use patterns are anticipated. A crime heat map hones in on the “areas of greatest distress” while a database of home ownership was the primary tool used to identify the “areas of strength.” In both cases, input from community members helped to verify these initial findings. Finally, the “areas of change” correlates with

the anticipated re-purposing of obsolete industrialized land uses and also where there is a concentration of publicly-owned land. Each of these areas are depicted in General Land Use Concept Map and provides the basis for the Land-use Framework Plan.

Notice the close adjacency of the areas of strength and distress. Carl Miller Boulevard and Norris Street appear to be the interface of these two zones.



2013 YTD Crime Density  
4th District

September 10, 2013

### Neighborhood Assessment Map



- Study Area Boundary
- Areas of Greatest Distress
- Areas of Greatest Strength
- Areas of Change
- Hospitals
- PATCO Station + tracks
- School Facilities
- Parks
- Cemetary

## Redevelopment Plan - Framework

### Intervention Strategy

This plan recommends that the allocation of limited resources should be concentrated along key streets in order to expand the area of strength and reduce the area of concentrated distress.

As a means to allocate resources to redevelopment, the plan recommends three different intervention strategies. These strategies have been termed “Stabilization,” “Investment,” and “Development.” Each of these intervention measures is discussed in more detail in the design guidelines section. Both the “stabilization” and “investment” strategies seek to maintain the existing single-family residential or small-scale commercial land use patterns. The distinction between “Stabilization” and “Investment” comes down to a matter of prioritization and the deployment of limited resources. In contrast, the “redevelopment” strategies incorporate new land use patterns into the neighborhood where larger land development opportunities exist.

### Stabilization

“Stabilization” strategies are low-cost measures that can make a big difference in the perception a given block or streets. First and foremost, this strategy calls for the removal of unsafe structures or structures in extreme disrepair. Where the land may already be vacant, stabilization may simply be a matter of regular maintenance: mowing the grass and picking up trash. However, where the ambition exists, this may also entail the re-purposing of vacant lots as open space amenities, be it a community garden, a place to gather and relax, a play area for children, or a combination of all three. For unoccupied but otherwise structurally safe structures, the boarding up of windows and doors and a fresh coat of paint can go a long way to changing perceptions of an area, and preserving these structures for re-occupancy. Finally, this strategy provides a means to help the existing owners and residents maintain and improve their homes.

### Investment

Where the “stabilization” strategies are concerned with improving conditions for existing residents “Investment” strategies seeks to bring new residents into the neighborhood, or convert existing residents from renters to owners. Where “stabilization” strategies identify and preserve opportunities for investment, “Investment” strategies capitalizes on those created opportunities. These strategies may include the construction of new housing units or storefronts, or the gut-rehabilitation of existing structures where feasible.

### Development

In contrast to the smaller scale more incremental investment strategies called for by the “stabilization” and “investment” strategies, “redevelopment” strategies calls for larger scale, more ambitious projects. This strategy is applicable to areas where existing land use patterns have become obsolete. In these areas it may be possible to marshal the resources necessary -- through the coordination of various stakeholders-- to execute more ambitious and visionary re-development projects for the neighborhood and introduce new and varied land use patterns.

### Key Streets

Finally, the community input and analysis process also helped to identify key corridors within the neighborhood that experience a concentration of traffic and connect key assets. Investments in street and public facilities improvements should make these “key streets” the first priority. Public realm improvements may entail the planting of street trees, the re-paving of roadways and sidewalks, or improvements to facilities at existing public parks.

### Plan Framework Map



- Study Area Boundary
- "Stabilization" Zone
- "Development" Zone
- Priority "Stabilization" Zone
- "Investment" Zone
- Priority "Investment" Zone
- Parks
- Cemetary
- PATCO Station + tracks
- Green infrastructure Opportunity
- Key Corridors



Artist rendering of a redeveloped Ferry Ave PATCO Station plaza



Artist rendering of infill and rehab development in Whitman Park neighborhood



Depiction of Whitman Park neighborhood today

## Redevelopment Plan - Land Use Regulation

### Overlay on Existing Zoning

The redevelopment plan anticipates existing land use patterns to remain where single-family residential, recreational and commercial land uses exist. Any redevelopment in these areas should be designed to match the existing land use patterns, per the block-specific "Neighborhood Core" and "Commercial Corridor" design guidelines. However, for the portion of the study area near the PATCO station where many of the existing land use patterns have become obsolete, the plan anticipates more significant changes. These areas where land use patterns are expected to change should follow the "Transit Village" block-specific design guidelines.

The following is a summary of the recommended land use changes for the district:

- 1 - Convert the existing C3 zoning district to a TOD district.
- 2 - Expand the TOD zoning district to include all parcels east of Hallowell Lane.
- 3 - Allow for light industrial uses in the TOD district as a conditional use.  
All permitted use in the LI-1 and LI-2 Zones should be allowed as conditional uses within the TOD zoning district in the Whitman Park Redevelopment Plan boundary.
- 4 - Connect the gap in the C-1 zoning district along Mt. Ephraim Avenue as shown in the map land-use framework map.

<p>R2 Zoning District -see "Neighborhood Core" Guidelines</p>
<p>C1 Zoning District -see "Commercial Corridor" Guidelines</p>
<p>TOD Zoning District -see "Transit Village" Guidelines</p>



Proposed Overlay onto Zoning Map



## R-2 Residential

**PERMITTED USES.** In the R-2 Residential Zone, no building, structure or premises shall be used, and no building or structure shall be erected or structurally altered, except for the following permitted uses:

- Single-family detached dwellings.
- Semi-detached dwellings.
- Duplex (two-family) dwellings.
- Townhouse (attached/row) dwellings.
- Buildings, structures, and other uses owned and operated by the City of Camden for municipal purposes.
- Parks, playgrounds or recreation areas, community center buildings, and libraries.
- Public, private, or parochial educational institutions.

**ACCESSORY USES.** The following accessory uses shall be permitted in this zone:

- Inground and Above-Ground Swimming Pools and/or other structures customarily incidental to a private swimming pool on a property, subject to the requirements of Section 577-193.
- Accessory Buildings and Structures, subject to the requirements of Section 577-189.
- Off-Street Parking and Private Garages, subject to the requirements of Section 577-214, 230- 241.
- Fences and Walls, subject to the requirements of Section 577-197.
- Signs, subject to the requirements of Section 577-253.
- Porches, decks and patios, subject to the requirements of Section 577-190.

**PROHIBITED USES INCLUDE.** Any use not listed above shall be prohibited in the R-2 Residential Zone, and specifically the following:

- Signs in any form except as permitted in this Ordinance.
- Lodging houses, boarding houses, rooming houses, multi-family dwellings or any combination thereof.
- Wireless Telecommunication Facilities.

**CONDITIONAL USES.** The following conditional uses shall be permitted in this zone:

- Place of Worship, subject to the requirements of Section 577-209.
- Community Residences for Persons with Head Injuries and for the Developmentally Disabled and/or Community Shelters for Victims of Domestic Violence, as required by N.J.S.A. 40:55D-66.1, subject to the standards and requirements for single-family detached dwellings located within this zone and to the requirements of Section 577-204.
- Family Day Care homes, subject to the requirements of Section 577-202.
- Parabolic dish antennae, subject to the requirements of Section 577-210.
- Public utility facilities, subject to the requirements of Section 577-191.
- Cemetery, subject to the requirements of Section 577-208.
- Home occupation and home professional offices, subject to the requirements of Section 577-201.

## C-1 COMMERCIAL ZONE

**PERMITTED USES.** In the C-1 Commercial Zone, no building, structure or premises shall be used and no building or structure shall be erected or structurally altered, except for the following uses:

- Single-family detached dwellings.
- Semi-detached dwellings.
- Duplex (two-family) dwellings.
- Townhouse (attached/row) dwellings.
- Banks, financial and insurance offices.
- Business services.
- Club, social or fraternal.
- Convenience stores.
- Medical offices and facilities, including but not limited to doctor, dentist and veterinary offices, chiropractors and psychiatrists.
- Offices, office building and office complex.
- Personal services, including but not limited to barbershops, hairdressers, dry cleaning establishments, photographers, funeral homes, shoe repairs, tailors, laundromats and travel agencies.
- Professional and private offices, including but not limited to real estate, accounting, insurance, architects, psychologists and lawyers.
- Retail stores, including but not limited to the sale of antiques, art, dry goods, variety and general merchandise, clothing, fabrics, floor covering, furniture and home furnishings, food, books, hardware, hobby and art supplies, garden supplies, flowers, drugs, handicraft art, household supplies or furnishings, pets, sale or repair of jewelry, sporting goods, watches and clocks, optical goods, musical, professional and office supplies and packed goods when sold only on the premises
- Residential uses above non-residential first floor.
- Restaurants, not including carryout and drive-through.
- Retail food establishments.
- Shopping centers.
- Tavern or bar.
- Buildings, structures, and other uses owned and operated by the City of Camden for municipal purposes.

- Parks, playgrounds or recreation areas, community center buildings, and libraries.
- Public, private or parochial educational institutions.

**ACCESSORY USES.** The following accessory uses shall be permitted in this zone:

- Inground and Above-Ground Swimming Pools and/or other structures customarily incidental to a private swimming pool on a property, subject to the requirements of Section 577-193.
- Accessory Buildings and Structures, subject to the requirements of Section 577-189.
- Off-Street Parking and Private Garages, subject to the requirements of Section 577-214, 230- 241.
- Fences and Walls, subject to the requirements of Section 577-197.
- Signs, subject to the requirements of Section 577-253.
- Sidewalk café, subject to the requirements of Section 577-217.

**PROHIBITED USES.** Any use not listed above shall be prohibited in the C-1 Commercial Zone, and specifically the following:

- Signs in any form except as permitted in this Ordinance.
- Lodging houses, boarding houses, rooming houses, group homes, multi-family dwellings or any combination thereof.
- Wireless Telecommunication Facilities.
- Auto Body shop.
- Automobile Sales lot or building.
- Automobile Service Station, Gasoline Station, or Motor Vehicle Service Station.
- Car Wash.
- Junk yards and automobile graveyards.
- Lumber and building supply sales and storage.
- Hotel or Motel, or Extended Family Stay facility.
- Wholesale, storage, and warehouse facilities.
- Commercial Recreational facility.
- Farm Market.
- Garden Center.
- Home Center.

CONDITIONAL USES. The following conditional uses shall be permitted in this zone:

- Family Day Care homes, subject to the requirements of Section 577-202.
- Child Care Centers, subject to the requirements of Section 577-203.
- Parabolic dish antennae, subject to the requirements of Section 577-210.
- Public utility facilities, subject to the requirements of Section 577-191.
- Home occupations and home professional offices, subject to the requirements of Section 577-201.
- Bed and Breakfast, subject to the requirements of Section 577-205.

### TOD Transit Oriented Development

PERMITTED USES. In the TOD Transit Oriented Zone, no building, structure or premises shall be used and no building or structure shall be erected or structurally altered, except for the following permitted uses:

- Semi-detached dwellings.
- Duplex (two-family) dwellings.
- Townhouse (attached/row) dwellings.
- Multi-family dwellings.
- Bus terminals.
- Business services.
- Convenience stores.
- Banks, financial and insurance offices.
- Offices, office building, office complex and medical offices.
- Personal services, including but not limited to barbershops, hairdressers, dry cleaning establishments, photographers, funeral homes, shoe repairs, tailors, laundromats and travel agencies.
- Professional Offices and private offices, including but not limited to real estate, accounting, insurance, architects, psychologists and lawyers.
- Restaurants, not including carryout and drive through.
- Retail Food establishments.
- Retail stores, including but not limited to the sale of antiques, art, dry goods, variety and general merchandise, clothing, fabrics, floor covering, lumber and building supplies, furniture and home furnishings, food, books, hardware, hobby and art supplies, garden supplies, flowers, drugs, handicraft art, household supplies or furnishings, pets, sale or repair of jewelry, sporting goods, watches and clocks, optical goods, musical, professional and office supplies and packed goods when sold only on the premises.
- Retail sales, outdoor.
- Shopping Centers.
- Commercial Recreation facility.
- Railroad passenger stations and railroad facilities and uses.
- Hotel or Motel, or Extended Family Stay facility.
- Theaters, museums, art galleries and concert halls.
- Visitor Information Center.

- Buildings, structures, and other uses owned and operated by the City of Camden for municipal purposes.
- Parks, playgrounds or recreation areas, community center buildings, and libraries.
- Public, private or parochial educational institutions.
- Railroad passenger stations and railroad facilities and uses.
- Grocery Store, carryout of prepared food.
- Wireless Telecommunication Facilities, subject to the requirements of Section 577-210 and 211.
- Community Residences for Persons With Head Injuries and for the Developmentally Disabled and/or Community Shelters for Victims of Domestic Violence, as required by N.J.S.A. 40:55D-66.1, subject to the standards and requirements for semi-detached dwellings located within this zone and to the requirements of Section 577-204.

**ACCESSORY USES.** The following accessory uses shall be permitted in this zone:

- Off-Street Parking and Private Garages, subject to the requirements of Section 577-214, 230-241.
- Multilevel Parking Structures, subject to the requirements of Section 577-232.
- Fences and Walls, subject to the requirements of Section 577-197.
- Signs, subject to the requirements of Section 577-253.
- Railroad accessory uses.
- Sidewalk cafes, subject to the requirements of Section 577-217.
- Family Day Care homes, subject to the requirements of Section 577-202.
- Home occupation and home professional offices, subject to the requirements of Section 577-201.
- K-12 Schools (public, charter or private).
- K-12 Schools (public, charter or private).
- All uses specified in LI-1 General Industrial Zone and LI-2 General Industrial Zone, including:
  - Manufacturing (i.e., light industrial operations, such as electronics, machine parts and small component assembly, as opposed to heavy industrial operations, such as automobile assembly or milling operations) or preparing, processing (i.e., food processing) or fabricating.
  - Wholesaling of goods and services, including warehousing or storage of goods, and cargo in transit provided that all activities and inventories are conducted entirely within an enclosed structure and that cargo is not harmful to humans, such as but not limited to atomic waste, radioactive materials, explosive hazardous waste, or similar cargo.
  - Scientific or research development laboratories.
  - Pilot plant.
  - Restaurants, including sit-down, carryout, and drive-through.
  - Lumber and building supply sales and storage.

**PROHIBITED USES.** Any use not listed above shall be prohibited in the TOD Transit Oriented Zone, and specifically the following:

- Signs in any form except as permitted in this Ordinance.
- Lodging houses, boarding houses, rooming houses, or any combination thereof.
- Auto Body shop.
- Junkyards and automobile graveyards.
- Wholesale, storage, and warehouse facilities.
- Car wash.
- Automobile Service Stations, Gasoline Stations, or Motor Vehicle Services Stations.

**CONDITIONAL USES.** The following conditional uses shall be permitted in this zone:

- Child Care Centers, subject to the requirements of Section 577-203.
- Parabolic dish antennae, subject to the requirements of Section 577-210.
- Public utility facilities, subject to the requirements of Section 577-191.

## Redevelopment Plan - Resources

### Path to homeownership in Whitman Park

Throughout the planning process for the Whitman Park Redevelopment Plan, community residents, stakeholders, and city officials agree unequivocally that homeownership is the key to a revitalized Whitman Park neighborhood. Increasing the homeownership rate (currently at 28%) will take multiple sequential and concurrent steps by many parties. Below are a few measures that are required beyond bricks-and-mortar.

### Credit repair / credit building services

One of the biggest and most obvious obstacle to homeownership is the poor or non-existent credit rating of aspirational homeowners. Many banks do not consider mortgage applications for persons with a credit score below 640. United Neighbors of Whitman Park should partner with local banks and credit unions to host courses on building and repairing credit. These courses can also double as financial literacy courses to build up the neighborhood's capacity.

### Pre-purchase counseling program

Currently the City of Camden is working with Neighborhood Housing Services of Camden, Inc. to provide pre-purchase homebuyer education and credit-counseling services, equipping potential homeowners of the basic knowledge and easy access to information and resources needed to make sound decisions throughout the home buying process.

### Stricter code enforcement of rental properties

The City of Camden Department of Code Enforcement should focus resources in the Whitman Park neighborhood in the short term to address many distressed rental properties that serve as obstacles in the pathway to homeownership. All rental properties are required to register with the Department of Code Enforcement, and must meet the health and safety and well-being standards of modern housing.

### Equitable assistance for troubled homeowners

A secondary yet important issue that must be addressed is the glut of homeowners in Whitman Park who are delinquent in their property taxes. Their delinquency prohibits them from taking advantage of City-sponsored programs that can help improve the appearance of their properties – discouraging the market from investing in adjacent parcels. Residents of Whitman Park can lobby Camden City Council to pass a resolution allowing an equitable management of tax arrears for qualified homeowners. Qualification can be defined by (a) owner-occupied housing only, (b) requirement of sweat equity, and (c) a deed restriction so that the homeowner is unable to rent the home for a period of 5 years.

### Development of high quality, well managed rentals

It may appear counter-intuitive, but one of the stepping stones to increase in homeownership is to first develop high quality, well managed, rental developments. Funding mechanisms are already in place to allow rental developments to be implemented in the short term. These new early investments will stabilize the neighborhood while priming the market for homeownership down the road. The Housing Authority of the City of Camden (HACC) and its development partners can lead this initiative.



### Hub of information

The Whitman Park Redevelopment Plan recommends that United Neighbors of Whitman Park (UNWP) serve as the temporary hub of information for neighborhood housing services. As new programs are added and old ones expired, UNWP should keep all residents informed in both English and Spanish. Some of the current programs are:

#### City of Camden Division of Housing Services First Time Homebuyer's Program

The City of Camden provides a "one-time" deferred loan of up to \$10,000 for qualified first time homebuyers. While this program has not been used much in Whitman Park, it has been very popular in other parts of Camden. (1,200 families have taken advantage of the program city-wide since its inception) A maximum of \$5,000 can be applied toward closing costs, and all remaining funds must be applied toward down payment/principal reduction of the final mortgage amount.

#### City of Camden Tax Assessor's Office Tax Abatement Program

The State of New Jersey provides graduated tax abatement for improvement, conversion or construction of property. This 5 year tax abatement is structured to slowly acclimate a new homeowner to the cost of homeownership, beginning at 100% abatement and decreasing to 0% abatement at the end of the 5 years. The recently legislated New Jersey Economic Opportunity Act of 2013 at the state level will extend this property tax abatement for the City of Camden to a period of 10 years.

### Pre-qualified lenders and homeowner's insurance providers

UNWP can serve as the clearinghouse for information on lenders and insurance providers who have provided lending and insurance services to properties in Whitman Park. Existing and future residents can obtain a working list of banks, credit unions and insurance companies who will underwrite loans and policies in the neighborhood.

#### POWER (Program Offering Widespread Energy Recovery)

The City has in place funding for property owners to upgrade their properties to make them energy efficient.

#### CHIP (Camden Housing Improvement Program)

This existing program provides financial assistance (up to \$25,000) to qualifying homeowners to improve their properties.

#### • New Jersey Economic Opportunity Act of 2013 Grow New Jersey Assistance Program (Grow NJ)

The Act greatly enhances Grow NJ, an incentive program designed to encourage economic growth and job creation as well as preserve currently existing jobs that are in danger of relocating to other states. To be eligible for the program, a business must demonstrate that New Jersey's financial support and subsequent retention of full-time jobs will yield a "net positive benefit" to the state. Base credits under Grow NJ range from \$500 to \$5,000 per job per year, depending on the project's location. The base credit can be supplemented annually based on other characteristics of the subject project, which can range from \$250 to \$5,000 per job per year.

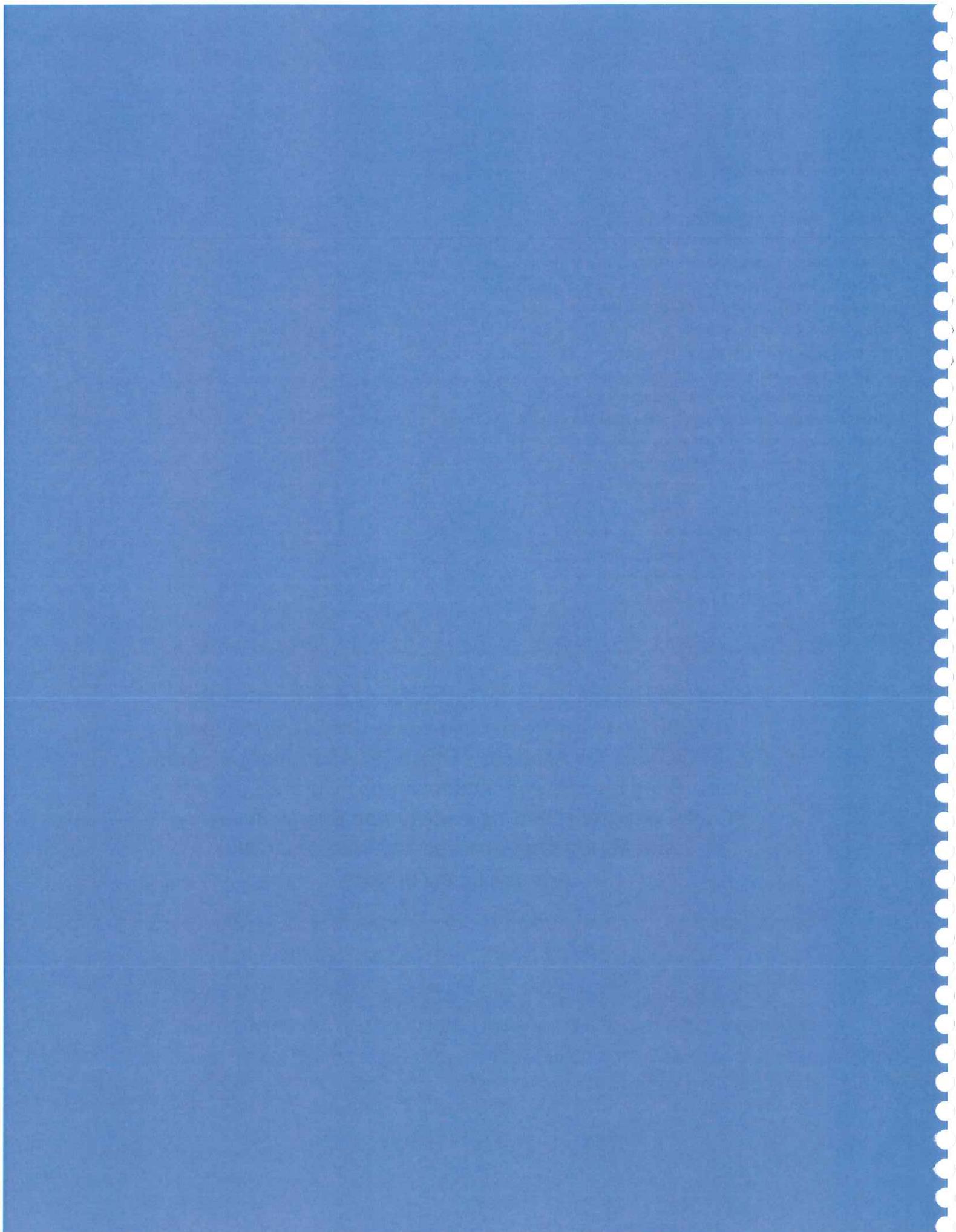
### Economic Redevelopment and Growth Grant Program (ERG)

Under ERG, developers can obtain state and local incentive grants worth up to 30% of total project capital investment costs. In addition, the state and municipalities are authorized to increase the amount of the incentive by up to 10% if the project qualifies as a grocery store in a distressed municipality, qualified residential project for moderate income housing, disaster recovery project, or falls into one of several other qualified categories. The total amount of state grant is limited to the average of 85% of the projected annual incremental tax paid. Further, the maximum amount of any state and local incentive grant cannot exceed 40% of the total project costs. Eligible project costs include land, buildings, improvements, real or personal property, or any interest therein such as land under water, riparian rights or air rights. Costs not directly related to construction can be included up to 20% of the total costs. \$175 million is earmarked specifically for Camden.

#### **Package of Homeownership Incentives / Information Hub**

- \$10,000 First time homebuyers one-time deferred loan
- City of Camden Tax Assessor's Office Tax Abatement Program
- Pre-qualified lenders and homeowner's insurance providers
- POWER (Program Offering Widespread Energy Recovery)
  - Camden Housing Improvement Program (CHIP)
  - Addressing tax arrears

**In many instances, it may cost the same amount of money per month to own a home than to rent a home.**





# DESIGN GUIDELINES

## General Design Guidelines

### Exterior Building Materials

- Building façade materials shall be of high quality, including masonry materials (natural brick, stone, cast stone), cementitious siding, painted wood, metal panels, or glass curtain walls.
- Variety in building materials is encouraged.
- The use of building materials with a high recycled content is encouraged to divert construction waste from landfills.
- Arcades and awnings are encouraged along active frontages with sun exposure.

### Service, Loading Areas and Mechanical Equipment

Service areas are an essential component to a building's function, but trash and recycling bins and loading docks can have a negative visual impact. These guidelines ensure that buildings and services are properly screened and located.

- Trash, service, and loading areas shall be located along streets designated as Semi-Active Street Guidelines and shall be screened from view from public streets, open spaces, residential areas, and pedestrian corridors.
- Rooftop mechanical units, vents, and other equipment shall be screened on the building.
- All trash, service, loading, and mechanical unit areas shall incorporate controls to minimize noise and odor.

### Parking Standards

The following standards seek to leverage this transit access and minimize the negative impact that cars can have on the public realm.

- Shared parking available to more than one building or land use is encouraged.
- To minimize its impact, parking should be located behind buildings. Parking lots are not allowed facing onto the new river road / greenway (see diagram).

- Parking lots shall be landscaped with trees to provide shade, with one tree for every six parking spaces.
- In addition to the required facilities for passenger automobiles, facilities for the secure and convenient parking of bicycles shall be required. The number of spaces and/or racks shall be determined by the Planning Board at the time of subdivision or site plan review.
- Parking lots shall be designed and landscaped with plant materials to remove contaminants and encourage infiltration of stormwater.
- The use of pervious paving materials is encouraged.
- The primary access points to parking lots and facilities may only occur from a street designated as a Semi-Active Street.
- Off-street parking spaces shall be nine (9) feet by eighteen (18) feet, and in the case of 90 degree parking, one-way, and two-way aisles, can be a minimum of twenty (20) feet to a maximum of twenty (24) feet.
- Parking structures should exhibit design characteristics that positively contribute to the pedestrian environment including:
  - o external treatments to allow them to blend with adjacent land uses;
  - o integrated sustainable design features where possible; and
  - o integrated signage and wayfinding.
- Parking lots shall meet requirements set forth in the zoning code, section 577-231 Parking and Loading Design Standards.

### Lighting

- Lighting levels along paved portions of public walks shall average no less than one (1)-foot candle for commercial areas and one-half (.5)-foot candle for residential areas.
- Fixtures serving to light streets shall be at a height of no greater than twenty (20) feet above the

adjacent roadway surface. The light center of a fixture for a pedestrian walkway shall be mounted at a height of twelve (12) to fourteen (14) above the adjacent surface of the walkway.

- Well-designed soft lighting of the building exterior shall be permitted provided that the lighting complements the architecture. The lighting should not draw inordinate attention to the building.
- Parking lot, service area, and roadway lighting shall be provided by either wall mounted and/or freestanding fixtures designed to minimize glare to the street and adjacent properties. The type of fixture and color of lamps will be evaluated for compatibility with existing street lighting, building architecture, and natural site characteristics.
- All lighting shall be designed and installed to avoid off-site spillage and halo effect to the greatest extent reasonably possible and consistent with public safety. Light sources should not be visible from outside the boundaries of the site.
- All lighting designs and installation are subject to Planning Board review and approval and shall meet the requirements of Sec.577-230.

### Signage

- All signs are subject to the approval of the Architectural Review Committee and the Camden Planning Board.
- Billboards and off premise signs are expressly prohibited within this redevelopment area.
- No signs that flash, blink, twinkle, rotate, move, are animated, or present the illusion of movement are permitted.
- The temporary display of signs, banners, flags, pennants, and similar devices in connection with special events or activities of a public or nonprofit nature or upon the occasion of the opening of a new business use shall be permitted—provided such display shall not exceed fourteen (14) days and shall not occur more than 4 times per calendar year.

- No sign shall be painted directly on the surface of the building, other than window glass.
- No sign shall be placed in such a position that it is likely to cause danger to or otherwise interfere with the free flow of pedestrian traffic on the sidewalk.
- A sign shall not project above the roof of a structure to which it is affixed or project more than two feet from the facade of a building.
- A sign for a single shop, store, or other use shall be limited in size or to a total area to a ratio of one square foot of sign area for every two lineal feet of building street frontage with an uppermost limit of forty (40) square feet for any individual store.
- No sign shall be more than five (5) feet in height.
- Signs shall indicate only the principal name of the establishment, proprietor, or owner and may include a brief description of the principal goods, service, or use thereof and a logo or trademark by which the business or owner is identified.
- Where total proposed signage exceeds forty (40) square feet in area, a signage plan shall be submitted to the Architectural Review Committee and the City of Camden Planning Board. Signage erected without proper approval of the Planning Board shall be removed.

### Landscape Treatments and Guidelines

- To reduce air and sound pollution; regulate solar radiation and wind control; influence the type and speed of pedestrian and automobile traffic flow; screen out glare and reflection; and produce an aesthetically pleasing environment, all streets within the redevelopment area shall be planted with street trees.
- Street trees shall be located at a minimum distance of forty (40) feet on center, allowing slight deviations for driveways, walks, or other obstructions.
- Street trees are required to be greater than thirty (30) feet in height when fully grown.

- When street trees are to be planted in paved areas, the soil in the tree pit shall be protected from compaction through the use of tree grates or cobbles.
- Trees adjacent to public walkways or streets shall be pruned from the trunk to a minimum height of seven (7) feet.
- All plants, trees, and shrubs shall be installed in accordance with a landscape plan and schedule provided by the developer, subject to the approval of the Planning Board.
- All plant material must be able to withstand an urban environment. All screen planting must be a minimum of four (4) feet high and shall be planted, balled, and burlapped as established by the American Association of Nurserymen.
- Any landscaping which is not resistant to the environment, or that dies within two (2) years of planting, shall be replaced by the developer.
- All landscaped areas shall be kept clean; all litter and refuse of any type shall be removed daily.
- All entranceways, open areas, plazas, and parking areas shall be attractively and appropriately landscaped.
- A minimum of five (5%) percent of any surface parking facility shall be landscaped.

### Green Building

All projects should be designed to achieve maximum energy efficiency and be designed and constructed to utilize the most current sustainable building practices. Developers shall utilize a sustainable building rating system to maximize building performance. Sustainable building rating systems are continually evolving. Current systems include: U.S. Green Building Council (USGBC) Leadership in Energy and Environmental Design (LEED), Green Building Initiative's Green Globes, Living Building Challenge's certification for zero-utility-energy buildings, EPA's Building Performance-Energy Star program and the Greenprint Performance Index.

### Public Art

Public art can enhance the pedestrian realm by adding visual interest. Consider providing public art as part of redevelopment projects and in public spaces.

### Sustainable Economy

Projects are encouraged to incorporate goods and services purchased from or produced in the local community to enhance the social-commercial fabric of the community.

### Stormwater Management

All sites shall be developed with the following goals:

- Use pervious paving and green roofs when possible to decrease the rate and quantity of stormwater runoff from the site.
- Consider harvesting rainwater for use in irrigation and for flushing toilets and other uses.

### Reduce the Urban Heat Island Effect

These strategies are encouraged to reduce the urban heat island effect.

- Provide shade for thirty (30%) percent of the site's non-roof impervious surfaces.
- Use light-colored materials on the site's impervious surfaces.
- Use pervious paving systems for at least fifty (50%) percent of surface parking lots.
- Use a "green" vegetative roof for at least fifty (50%) percent of the roof area.

### Accessibility

All redevelopment projects shall comply with federal, state, and local requirements regarding handicap accessibility.

### Design Review

All developers undertaking new development shall submit necessary plans, sections, elevations, and perspectives to comprehensively convey architectural and landscape design intent. Proposed development shall follow the plan review process as specified in the Municipal Zoning Code, as well as preliminary review by the Camden Redevelopment Agency. All plans shall be approved by the City of Camden Planning Board and shall receive all other necessary approvals and permits before construction shall commence.

## Block-Specific Design Guidelines

The Whitman Park design guidelines describe the appropriate development patterns for new, urban in-fill development within the Whitman Park Neighborhood. These guidelines are concerned with the placement of buildings on a development site, the height of buildings, the orientation of the primary building entrance, the building's architectural character, lighting, signage, and driveway access.

Three distinct sub-districts exist within the Whitman Park neighborhood, as depicted in Figure X, each with its own unique set of characteristics. These guidelines are written to ensure that new development in each of these areas is in keeping with the existing land use patterns of the "Neighborhood Core" and "Commercial Corridor" sub-districts, while in the case of the "Transit Village" district, the guidelines aim to ensure new land use patterns reflects Transit Oriented Development (TOD) best practices.

### Neighborhood Core District

The "Neighborhood Core" sub-district comprises the largest area of land within the district. The predominant building type is two stories, townhouse-style residential buildings, mostly built before 1959. The building stock ranges from well-kept homes, to abandoned, to unsafe structures, to vacant lots.

### Commercial Corridor District

The "Commercial Corridor" sub-district is comprised of all parcels with frontage along Mt. Ephraim and Haddon Avenues (not within the Transit Village district). Existing buildings in this district are an eclectic mix of mostly two-story traditional "main street" pattern (walk-up residential over storefronts.) Most but not all storefronts appear to be either occupied, or in a reasonable state of repair. Opportunities for re-use and rehabilitation of existing structures are good. Limited opportunities for new construction exist along these corridors.

### Transit Village District

In contrast to the others, the "Transit Village" District consists of larger, former industrial parcels with proximity to the rail corridor and the transit station. While the "Neighborhood Core" and "Commercial Corridor" districts present mostly smaller-scale development opportunities, this portion of the neighborhood is able to accommodate larger-scale infill development.



-  Study Area Boundary
-  PATCO Station + tracks
-  Parks
-  Cemetery
-  Neighborhood Core
-  Commercial Corridor
-  Transit Village

## Block-Specific Design Guidelines

### Site Layout Guidelines

**BTL location** – A BTL should be located wherever a private parcel is adjacent to a public right-of-way. This guideline specifies the location of the BTL, i.e. the “setback,” relative to the edge of a public right-of-way, given in feet. A specification of “Zero” means the BTL should be located at the edge of the public right-of-way.

**BTL Occupancy** – this guideline specifies a percentage of the BTL that should be occupied by a building. The building façade must be in compliance with all public façade guidelines at these locations.

### Access Guidelines

**Private Driveway limits** – This specification limits the frequency of private driveways for both parking and loading purposes. The specification is given on a per-linear-foot (plf) basis. In order to calculate the number of driveway access points allowed, divide the length of the BTL by the limit specified here and round down to the nearest whole number. By this method, any parcel with a BTL length under the limit specified shall not be allowed a private driveway. Furthermore driveways are not allowed within 100’-0” of the corner of a block.

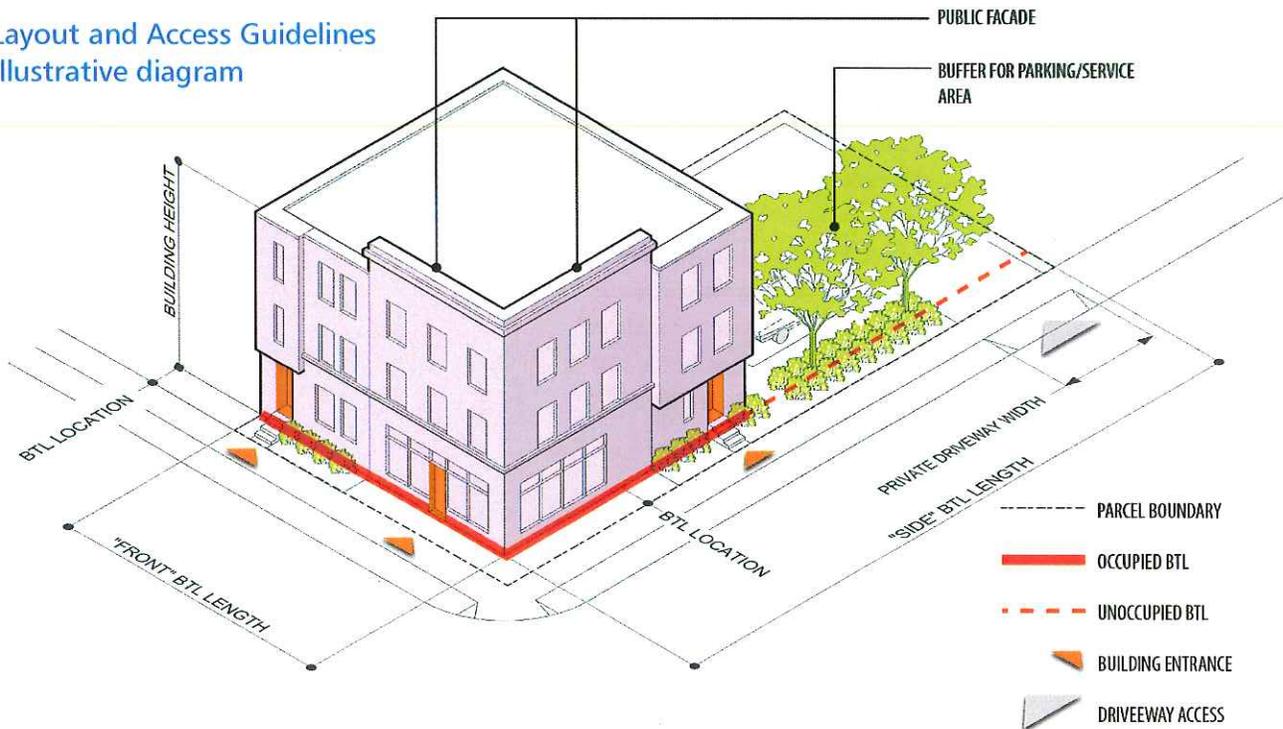
**Private driveway width** – the width of a single parking or service access point is limited by this specification.

**Entrance Frequency** – this specification calls for a minimum number of entrances per linear foot of build-to-line. In order to calculate the number of entrances at the build-to line, divide the length of the build-to line by number specified here, and round up to the nearest whole number. Note that this is a minimum not a maximum specification. By this method, a BTL with a length under the specified length should still have at least one entrance.

	LAYOUT GUIDELINES			ACCESS GUIDELINES			
		BTL Location	BTL Occupancy		Private Driveway Frequency	Private Driveway Width	Entrance Frequency
Neighborhood Core	F	MC*	100%	F	na	20' max	30'
	S	MC*	50%	S	50'	20' max	na
Commercial Corridor	F	MC*	100%	F	na	20' max	30'
	S	MC*	50%	S	50'	20' max	na
Transit Village	F	10'	80%	F	300'	20' max	50'
	S	10'	60%	S	50'	20' max	100'

\* MC = Match Context

Layout and Access Guidelines  
Illustrative diagram



## Block-Specific Design Guidelines

### Public Façade Guidelines

**Building Height** – This guideline specifies the height limit for new buildings. It is specified in stories rather than a specific height to better accommodate different land-uses and their associated floor-to-floor heights. Note that mechanical penthouses do not count as a story.

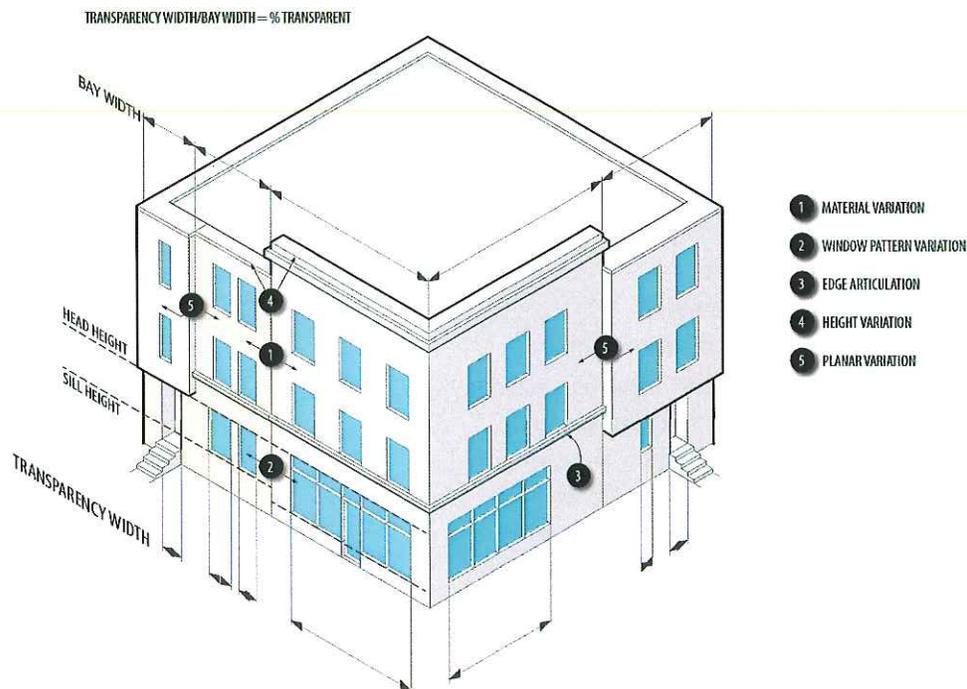
**Transparency** – this specification calls for a percent of the building façade that is “transparent” at the ground floor. Windows must use a clear glass and comply with head and sill height guidelines in order to count toward the transparency requirement.

**Lateral Articulation** – This specification calls for articulation of a building along the BTL by breaking the building façade into recognizable “bays.” This specification limits the maximum width of a “bay.” Bays should vary in at least two of the following ways: window size, window spacing, material composition, planar variation (at least 2'-0" for at least 50% of the height of the building), and cornice/eave height. See figure X for an illustration of articulation techniques.

**Vertical Articulation** – This guideline is concerned with the composition of a building façade from bottom to top. It calls for either one or two zones of articulation. Vertical Articulation Zones should vary in at least two of the following ways: window size, window spacing, material composition, planar variation (at least 2'-0" for at least ten feet or 30% of the width of the building) See figure X for an illustration of articulation techniques.

<b>PUBLIC FAÇADE GUIDELINES</b>		<i>Building Height (stories)</i>	<i>Transparency*</i>	<i>Head Height</i>	<i>Sill Height</i>	<i>Lateral Articulation</i>	<i>Vertical Articulation (# of zones)</i>
Neighborhood Core	R	2	30%	10' (min)	5' (min)	16'	2
Commercial Corridor	C	2	70%	10' (min)	2' (max)	16'	2
Transit Village	R	5	30%	10' (min)	5' (min)	30'	2
	C		70%	10' (min)	2' (max)	50'	

**Public Facade Guidelines**  
**Illustrative diagram**



## Stabilization Guidelines

This plan recommends the formation of a task force to coordinate and execute the treatment of vacant lots in the Whitman Park Neighborhood modeled after the Philadelphia Horticulture Society's "Philadelphia Landcare" program. While blighted lots greatly diminish the appeal of a neighborhood, open green space reveals the potential for new uses and increases community wealth. This task force will identify priority lots to target for "clean and green" treatment and coordinate community-based organizations and city agencies in an effort to convert vacant land into neighborhood assets.

According to a study of the "Philadelphia Landcare" program conducted by Dr. Susan Wachter et. al., homes next to an unmanaged vacant lot lost up to 20 percent of their value; when strategies similar to those used by the Philadelphia Landcare program were implemented, adjacent homes gain up to 17 percent in value. The study identifies "appearance of care" as a key element of a buyer's willingness to pay more for a property, and concludes that "such investments can change negative perceptions of a neighborhood and consequently can arrest housing abandonment rates, restore the property tax base, improve quality of life, and spur economic growth."

Wachter, Susan M., Gillen, Kevin C., and Brown, Carolyn R. "Green Investment Strategies: A Positive Force in Cities." *Communities & Banking*. 2008: 2527. [http://www.communitywealth.org/\\_pdfs/news/recentarticles/0408/articlewachteretal.pdf](http://www.communitywealth.org/_pdfs/news/recentarticles/0408/articlewachteretal.pdf)

[https://www.bostonfed.org/commdev/c&b/2008/spring/Wachter\\_greening.pdf](https://www.bostonfed.org/commdev/c&b/2008/spring/Wachter_greening.pdf)

### The "Clean and Green" treatment

This treatment should include the removal of all debris and weedy vegetation, grading the land, adding compost-enriched soil, and planting grass and trees to create a park-like setting. A signature fence design element should signify the lot as a cared-for property. Uniformity in the planting and fencing designs will give the community an appearance of connectedness. After this transformation, the site should be regularly cleaned and mowed throughout the growing season.

### Basic treatment of vacant lots

In addition, a second component to this program should address nuisance lots that have not yet received the "clean and green" treatment, or for any reason cannot receive the full treatment. The task force should organize and coordinate community based efforts to identify, clean and mow these additional lots.

In addition to vacant lots, abandoned and unsafe structures should be identified and dealt with. Any property identified by (study) should be dealt with according to the following recommendations.

### Unsafe Structures

Unsafe structures or any structure without an intact and functioning roof should be demolished and the resulting vacant land should be treated.

### Abandoned Structures

Abandoned but otherwise safe structures should be boarded up and any small flaws in the roof should be sealed in order to preserve the structures for re-use and future occupancy. Peeling paint should be sanded down and a new coat of paint should be applied. Any other signs of dis-repair should be addressed in a practical, cost effective manner to give the appearance of care.

## CAMDEN ADOPT A LOT PROGRAM



### Camden City Code 115-1

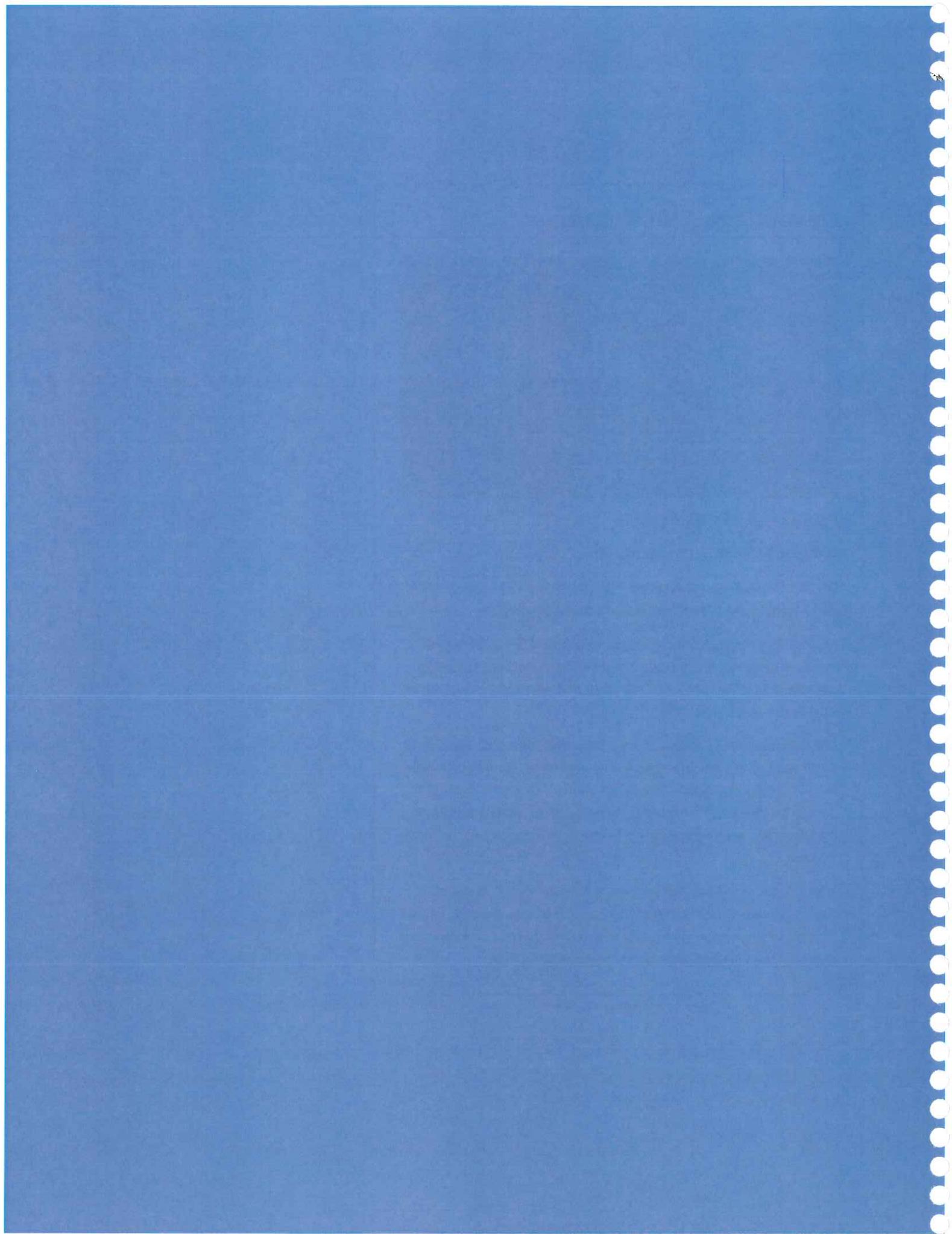
[Amended 7-26-2001 by Ord. No. MC-3676]

Any person or persons may petition to the Department of Public Works of the City of Camden to participate in the Adopt A Lot program.

Any individual, organization or group can complete a form setting forth the name of the street or lot for which it desires to become responsible and setting forth the names and addresses of all participants, either on an individual or group basis.

The application will be reviewed by the Department of Public Works of the City of Camden and forwarded to the Department of Utilities, Division of Engineering, and any other appropriate departments or divisions of this city for review and comment as to the feasibility and compatibility of the individual, organization or group participating in the cleanup and care program.

After a period of not less than six months, the City will review and inspect the work efforts and recommended to the governing body for the adoption of a resolution to post said lot as an "adopted lot" and shall then commend the individual, organization or group for its efforts.





# PLAN ADMINISTRATION

## Designation of Redevelopment Entity

1. The governing body of the City of Camden has designated the Camden Redevelopment Agency to implement redevelopment plans and projects in the area designated by this Plan as the Redevelopment Area (N. J. S. A. 40: 12A- 4).
2. When necessary for implementation of this plan, the Camden Redevelopment Agency as authorized by the governing body of the City of Camden shall designate and enter into a contract with a Redeveloper for any construction or other work forming a part of this Redevelopment Plan (N.J.S.A. 40A: 12A- 4(c)).
3. The designated redeveloper shall agree to retain interest acquired in the project until the completion of construction and development of the specified project, as per the terms of a negotiated Redevelopment Agreement(s). The redeveloper(s) shall agree not to lease, sell, or transfer interest or any part thereof without prior written approval of the Camden Redevelopment Agency, as per negotiated Redevelopment Agreement(s). The redeveloper shall be required to furnish escrows and performance guarantees as required by the Redevelopment Entity (N. J. S. A. 40: 55D- 53).

## Site Plan and Subdivision

1. Development and subdivision within the Redevelopment Area shall be governed by the requirements of the City of Camden governing Land Use Procedures, Subdivisions and Development, and Zoning, as well as the State of New Jersey governing development and redevelopment.
2. The redevelopment entity shall promulgate detailed design and improvement standards for development that shall be adopted as an amendment to this Plan by the City Council through ordinance. These regulations may vary from existing ones based upon the unique nature of the parcels and Redevelopment Plan, while being consistent with the objectives of local, state, and federal regulations.
3. The designated Redevelopment Entity or Redeveloper shall agree to comply with all applicable application submission requirements, design standards, and development regulations established in this plan for the Redevelopment Area, as well as those established by the City of Camden, County of Camden, and State of New Jersey, except where variances and waivers are properly approved.
4. The City of Camden Planning Board or Zoning Board shall review and approve all plans and specifications for development with respect to conformance with this Plan.

## General Provisions of the Plan

Land use provisions and building requirements for the Whitman Park Redevelopment Area are necessary as minimum requirements in the interest of public health, safety, convenience, and general welfare. They are intended to provide reference for physical development of the project area. Developers will be given flexibility in project planning and design, so long as buildings and improvements reflect quality, permanence, and physical integration through design elements. The City of Camden has not attempted in these controls to anticipate every possible design or land use solution. Rather, proposals will be evaluated as to how well they achieve the objectives of this Plan.

1. The Camden Redevelopment Agency and the City of Camden Planning Board specifically reserve the right to review and approve the redeveloper's plan and specifications with respect to their conformance to the Redevelopment Plan. Such a review shall be based on submissions to both agencies of a site context plan locating the proposed project in the redevelopment area; a site plan illustrating all site features; and building elevations for facades facing primary and secondary streets. If design changes are made after submission, no construction related to the changed project features can take place until a site plan and other pertinent drawings reflecting such additions or changes have been submitted and approved by both agencies. This pertains to revisions and additions prior to, during, and after completion of such improvements.
2. As part of the final site plan approval process, the Planning Board may require a developer to furnish performance guarantees pursuant to N.J.S.A. 40: D- 53. The City's Attorney or the Attorney of the Camden Planning Board shall approve such performance guarantees. The City shall determine the amount and form of such performance guarantees.
3. Interim uses may be established, subject to determination by the Camden Planning Board that such use will not have an adverse effect upon existing or contemplated development during the interim use. The Planning Board will determine a time period during which the interim use will be permitted. No interim use approval shall be granted for more than two years; extensions may be granted at the Board's discretion for a maximum of 2 additional one-year periods.
4. Subdivisions of lots and parcels of land within the redevelopment area shall be in accordance with requirements of this plan, Land Subdivision Ordinance of Camden, and the Zoning Code. If parcels are combined that include the use or taking of public rights-of-way, thus interfering with existing circulation patterns, and in creating a new street or tax block, the developer shall also be required to comply with the Municipal Zoning Code, as if the developer were proposing a subdivision or portion thereof.
5. The redeveloper shall also comply with the requirements of the Local Redevelopment and Housing Law, PL 1992, Chapter 79.
6. No use or reuse shall be permitted which, when conducted under proper and adequate conditions and safeguards, will produce corrosive, toxic or noxious fumes, glare, electromagnetic disturbances, radiation, smoke, cinders, odors, dust or waste, undue noise or vibration, or other features detrimental to the public health, safety, or general welfare.
7. No building shall be constructed over an easement in the project area without prior written approval of the Camden Redevelopment Agency and appropriate City authority.
8. Utility easements, when necessary, shall be provided by Redevelopers and approved by the City of Camden. Such easements shall be provided within seven working days after completion of project construction.

9. The developer of a specified project within the redevelopment area shall submit, if needed, a stormwater management plans as part of the design submission for review by the Camden Planning Board and appropriate City authority. Stormwater management in the redevelopment area is intended to minimize the quantity of stormwater entering the municipal sewer system or flowing directly into adjacent streams.
10. Any designated (re)developer providing new construction of any type of use, or building rehabilitation in excess of \$500,000 per project, will set aside an amount equal to 2% of project construction costs for the provision of a community amenity in the project area(s) where such construction shall occur, as specified by negotiated Redevelopment Agreement(s). Proposed amenities will be reviewed and approved by the Camden Redevelopment Agency and Camden Planning Board.
11. No covenant, lease conveyance, or other instrument shall be affected or executed by the Camden Redevelopment Agency, or other designated agency, or by the developer or any successors or assignees, whereby land within the project area is restricted by the Redevelopment Agency or other designated agency, or the developer, upon the basis of race, creed, color, marital status, gender, age, handicap, familial status, or national origin, in the sale, lease, use, or occupancy thereof. Appropriate covenants, running with the land forever, will prohibit such restrictions and shall be included in the disposition agreements.
12. Any plans or plats approved by the City of Camden, or its agencies and subsidiaries, prior to the adoption of this Redevelopment Plan shall not be subject to the requirements of this Redevelopment Plan.

## Types of Proposed Redevelopment Actions

Pursuant to PL 1992, the municipality or Camden Redevelopment Agency may, upon adoption of a redevelopment plan, proceed with clearance, re-planning, development, and redevelopment of the area designated in that plan. To carry out and effect the purposes and terms of this Whitman Park Redevelopment Plan, the municipality or Camden Redevelopment Agency may:

1. Undertake redevelopment projects, and for this purpose issue bonds in accordance with provisions of section 29 of PL 1992, C- 79.
2. Acquire privately held parcels and property that are vacant, underutilized, scattered, or under varied ownership and assemble them into parcels of sufficient size to support proposed development.
3. Form a public-private partnership for development of this Redevelopment Area.
4. Provide public improvements necessary to support redevelopment.
5. Select (a) redeveloper(s) to implement all or part of projects for redevelopment, in conformance with this Redevelopment Plan and all applicable local, state, and federal requirements.
6. Enter upon any property in the redevelopment area to conduct investigations, surveys, soundings, or test bores necessary to carry out the purposes of this plan.
7. Acquire by condemnation of any land or buildings necessary for the redevelopment project, pursuant to provisions of the "Eminent Domain Act of 1971".
8. Clear any area owned or acquired and install, construct, or reconstruct streets, facilities, utilities, and site improvements essential to the preparation of sites for use in accordance with the Redevelopment Plan.

9. Prepare or arrange by contract for the provision of professional services and the preparation of plans by registered architects, licensed professional engineers or planners, or other consultants to carry out redevelopment projects.
10. Arrange or contract with public agencies or redevelopers for (re)planning, construction, or undertaking of any redevelopment project or any part thereof.
11. Negotiate and collect revenue from a redeveloper to defray the costs of the redevelopment entity, including where applicable the costs incurred in conjunction with bonds, notes, or other obligations issued by the Camden Redevelopment Agency, and to secure payment of such revenue as part of any such arrangement or contract.
12. Provide for extension of credit or making of loans to redevelopers to finance any project or redevelopment work; or upon a finding that redevelopment work would not be undertaken but for the provision of financial assistance, or would not be undertaken in its intended scope without the provision of financial assistance, provide as part of an arrangement for capital grants to redevelopers.
13. Arrange or contract with public agencies or redevelopers for the opening, grading, or closing of streets, roads, roadways, alleys, or other places, or for the furnishing of facilities, or for the acquisition by such agency of property options or property rights, or for furnishing of property or services in connection with this redevelopment plan.
14. Lease or convey property or improvements to any other party, without public bidding, and at such prices and upon such terms as it deems reasonable, provided such lease or conveyance is made in conjunction with a redevelopment plan, notwithstanding the provisions of any law, rule or regulation to the contrary.
15. Arrange or contract with a public agency for relocation of residents, industry, or commerce displaced from or within a redevelopment area, pursuant to the "Relocation Assistance Law of 1967" and "Relocation Assistance Act," PL 1971.
16. Consistent with this plan, conduct a program of voluntary repair and rehabilitation of buildings and improvements and plan for the enforcement of laws, codes, and regulations relating to the use and occupancy of buildings and improvements, as well as compulsory repair, rehabilitation, demolition, or removal of buildings and improvements.
17. Publish and disseminate information concerning any redevelopment area, plan, or project.

## Acquisition and Relocation

The City may sell, lease, or otherwise convey to a designated redeveloper for redevelopment, subject to restrictions, controls and requirements of the Redevelopment Plan, all or any of the properties designated in need of redevelopment that it owns or may acquire.

No property in the Redevelopment Area may be acquired through the filing of a Declaration of Taking and deposit of estimated compensation with the clerk of the Court under the Eminent Domain Act of 1971, N.J.S.A. 20:3-1 et seq., unless the City has first engaged in bona fide negotiations with the property owner as required by N.J.S.A. 20:3-6.

To the extent that residents or businesses in the Redevelopment Area are displaced as a result of the acquisition of property adequate provision for the temporary and permanent relocation of such residents or businesses, as necessary, shall be made in accordance with all applicable regulations along with other relocation assistance as required by law. A Workable Relocation Assistance Plan ("WRAP") shall be submitted to the Department of Community Affairs for review and approval in accordance with the requirements of N.J.A.C. 5:11-1.1 et seq. Written offers to property owners for the purpose of engaging in bona fide negotiations shall not occur without the submission of the WRAP to the Department of Community Affairs. No relocation shall occur without prior approval of the WRAP by the Department of Community Affairs.

The Acquisition List is provided in appendix A.

## Redevelopment By Property Owners

The City's policy is to generally seek, where practicable, to afford owners of properties within the Redevelopment Area an opportunity, independently or together with neighboring property owners, to invest in their properties and to become the redeveloper of their own properties in accordance with the Redevelopment Plan.

At such time as the Redevelopment Entity determines to proceed with the redevelopment of a given property, the Redevelopment Entity shall notify the current property owner of its opportunity to become a redeveloper, whether its property can be redeveloped individually or only in combination with neighboring properties, or whether the Redevelopment Entity will consider alternative proposals (i.e., for development of a property either individually or in combination with one or more neighboring properties). Interested property owners shall have sixty (60) days to notify the Redevelopment Entity if they wish to become a redeveloper, failing which the Redevelopment Entity may seek to identify a third party to designate as redeveloper for such property. If a property owner(s) does notify the Redevelopment Entity that it wishes to become a redeveloper, the owner(s) shall have an additional one hundred twenty (120) days to submit the Redeveloper Materials for review by the Redevelopment Entity, failing which the Redevelopment Entity may seek to identify a third party to designate as redeveloper for such property. Upon receipt of the Redeveloper Materials, the Redevelopment Entity shall review such submission in accordance with Section V(C) hereof and, in its discretion, shall determine whether to proceed with designation of the property owner as redeveloper.

If, following review of such submission, the Redevelopment Entity determines to proceed to designate the property owner(s) as redeveloper, such property owner(s) shall be required to carry out the redevelopment project on terms no different than

those that the Redevelopment Entity would require of a third party redeveloper, such terms to be acceptable to the Redevelopment Entity. If a property owner fails to (a) submit the Redeveloper Materials (or any revisions required by the Redevelopment Entity) within the applicable timeframe, (b) comply with the terms of a resolution of Redevelopment Entity designating the property owner as redeveloper or (c) comply with the terms of any redevelopment agreement between the property owner(s) and the Redevelopment Entity, then the Redevelopment Entity may seek to identify a third party to designate as redeveloper for such property and proceed to redevelop the property on that basis.

The process as described in this Section V(D) is a good faith attempt by the City to set forth the City's intention with regard to ensuring that the redevelopment of properties in the Redevelopment Area proceeds in an expeditious manner and in accordance with the Redevelopment Plan and the public interest while simultaneously affording eligible property owners an opportunity to invest in and redevelop their properties. The City reserves the right to amend, modify or alter this process in order to achieve the goals of the Redevelopment Plan.

Nothing in this section shall preclude a property owner from submitting Redeveloper Materials for review by the Redevelopment Entity before the Redevelopment Entity gives notice of its intention to proceed with redevelopment of a given property.

## Time Limits

### A. REASONABLE TIME FOR DEVELOPMENT

The redeveloper of a project within the Whitman Park Redevelopment Area shall begin the development of land and construction of improvements within a reasonable period of time, to be determined in the Redevelopment Agreement between the Camden Redevelopment Agency and the duly designated redeveloper. (N.J.S.A. 40A: 12A-9)

### B. EXPIRATION OF REDEVELOPMENT PLAN

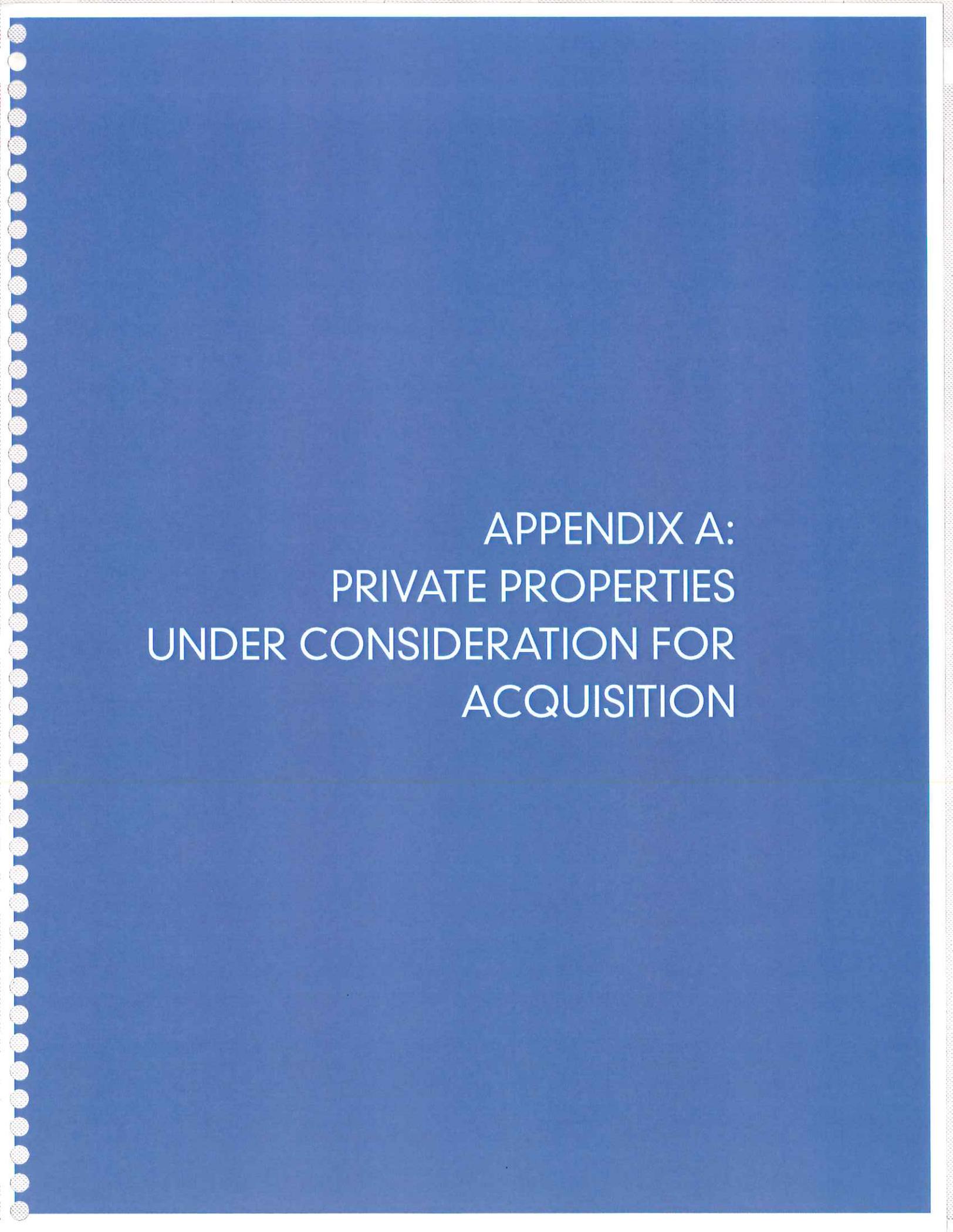
The provisions and regulations specified in this Plan shall continue in effect for a period of 25 years from the adoption of this Camden Downtown Redevelopment Plan by the governing body of the City of Camden.

## Procedures for Amending this Plan

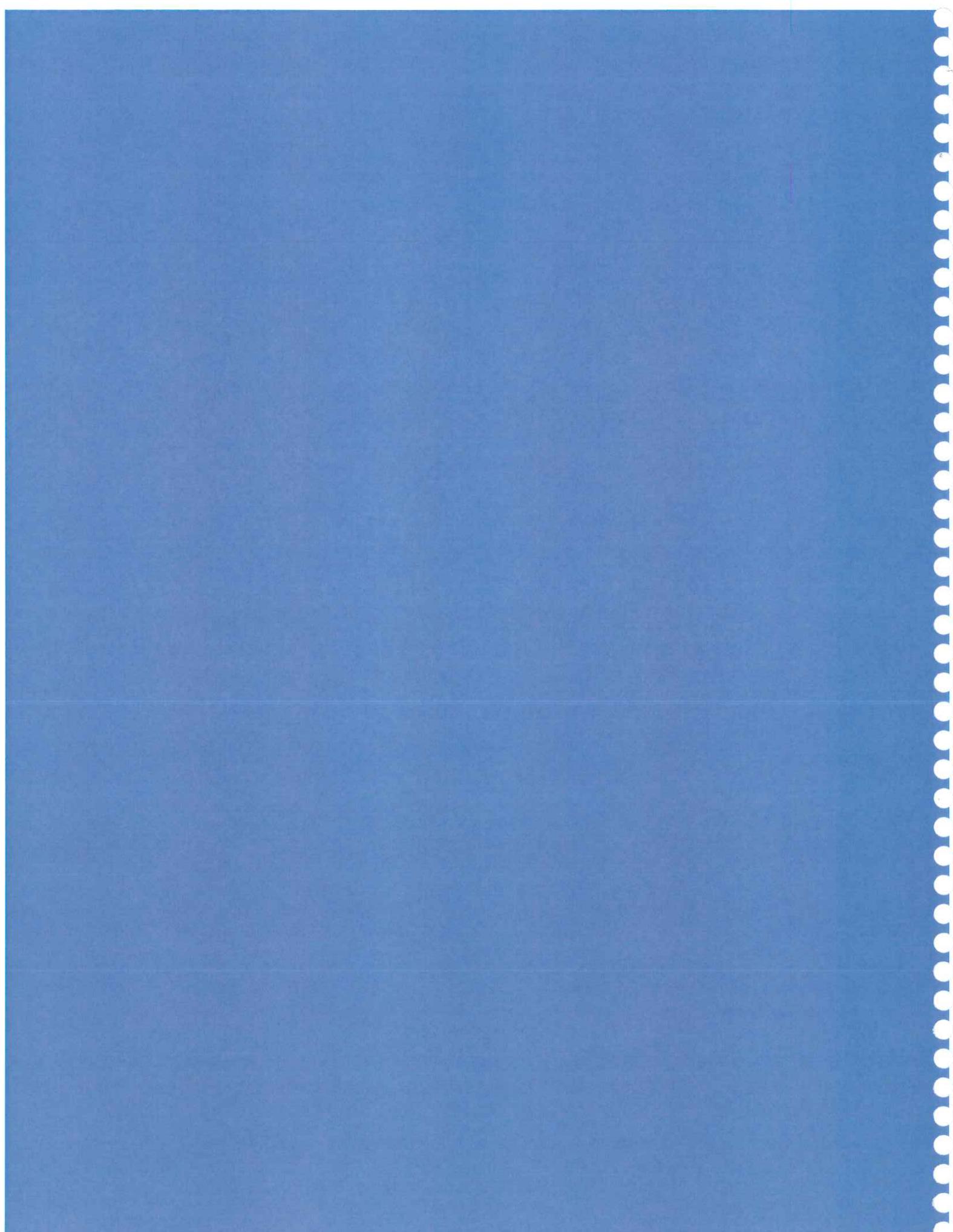
This Whitman Park Redevelopment Plan may be amended from time to time in conformance with the requirements of the Local Redevelopment and Housing Law (N.J.S.A. 40A: 12A-1 et seq.), provided that any change in use of a particular parcel in the project area previously conveyed to the Camden Redevelopment Agency and restricted as to its use in accordance with this Redevelopment Plan, the Camden Redevelopment Agency first receives the written consent of the current owner or contract purchaser of such a parcel whose interest are materially affected by such Plan or its proposed amendment(s). Whether an amendment to the Plan materially affects an owner with an interest in the Redevelopment Area will be decided solely by the City of Camden. Procedures for amending the plan shall be regulated in the "Local Redevelopment and Housing Law" (N.J.S.A. 40A: 12A-7).

## Supercedence, Repeal and Severability

1. All ordinances or parts of ordinances inconsistent with this Whitman Park Redevelopment Plan are repealed to the extent of such inconsistency only.
2. If any standards, controls, objectives, land uses, permitted uses, and other restrictions and requirements called for in this Redevelopment Plan differ in content from provisions set forth in the zoning law, provisions of this plan – unless otherwise specified – shall prevail.
3. If any provision or regulation of this Redevelopment Plan shall be judged invalid by court of competent jurisdiction, such order or judgment shall not affect or invalidate the remainder of any article, section, subsection, paragraph, subdivision or clause of this Redevelopment Plan and such section, subsection, paragraph, subdivision, or clause of this Redevelopment Plan are hereby declared severable.



APPENDIX A:  
PRIVATE PROPERTIES  
UNDER CONSIDERATION FOR  
ACQUISITION



## Private Properties Under Consideration for Acquisition

Block	Lot	Address	Owner	Square Footage
1326	43	SE ATLANTIC & ROSE ST	AZCONA HERIBERTO	5,400
1326	48	1160 ATLANTIC AVE	SPENCER LEM ET UX ET AL	1,204
1326	53	1170 ATLANTIC AVE	HART RICHARD	1,204
1326	55	1174 ATLANTIC AVE	MUTHES NYGINA	1,620
1326	56	1176 ATLANTIC AVE	YOUNG ESTHER	1,251
1326	65	1438 ROSE ST	RAMSAY SHARON	1,078
1326	66	1440 ROSE ST	BRIDGEMAN LEO	1,078
1326	67	1442 ROSE ST	966 NIAGRA LLC	1,078
1326	81	1181 LANSLOWNE AVE	KIJ & CO	1,218
1326	83	1185 LANSLOWNE AVE	JONES BOBBY L	1,218
1326	86	NS LANSLOWN 300 E ROSE ST	STMOORE ELWOOD	3,600
1326	88	1197 LANSLOWNE AVE	1239 G & G INC	2,061
1328	3	1186 LANSLOWNE AVE	RODRIGUEZ MELVIN J	1,414
1328	5	1182 LANSLOWNE AVE	HUNTER YVETTE	1,307
1328	7	1178 LANSLOWNE AVE	CRUZ EDUARDO & RIVAS ROSANNA M	1,950
1328	21	1152 LANSLOWNE AVE	1152 LANSLOWN LLC	1,073
1328	24	1463 LOUIS ST	JOHNSON TERYAN	557
1328	26	1467 LOUIS ST	GULFSTREAM FINANCIAL ADVISORS INC	557
1328	27	1469 LOUIS ST	SCOTT KENNETH V	557
1328	29	1473 LOUIS ST	FRAZIER CALVIN	557
1328	31	1189 WHITMAN AVE	FRINK JAMES B	1,950
1328	36	1175 WHITMAN AVE	CAM POLICE&FIREMANS ASSN	1,970
1328	41	1165 WHITMAN AVE	FORD ROBERT M	1,326
1328	42	1161 WHITMAN AVE	ORTIZ LARRY	2,135
1328	45	1155 WHITMAN AVE	VISCHORIC J ET UX	1,418
1328	108	NS WHITMAN 300 E ROSE ST	T FRINK JAMES B	1,950
1331	8	1232 ATLANTIC AVE		6,766
1331	89	1230 ATLANTIC AVE	CAMDEN CITY	2,436
1331	91	1226 ATLANTIC AVE	ADKINSON SHIRLEY M	1,218
1331	94	1220 ATLANTIC AVE	PROVINCIAL PROPERTIES LLC	1,218
1331	96	SS ATLANTIC 160 E LOUIS	HOLLIS STEVEN	7,087
1331	99	1202 ATLANTIC AVE	BPUM IMPACT CORP	1,800
1331	100	1200 ATLANTIC AVE	B P U M DAY CARE INC	1,480
1331	104	1269 LANSLOWNE AVE	FLETCHER DAVID M & IDA	1,032
1331	112	1253 LANSLOWNE AVE	DEFINITIVE PROPERTIES LLC	1,032
1331	114	1249 LANSLOWNE AVE	TARNECKI D	1,032
1331	115	1247 LANSLOWNE AVE	ROSADO EVELYN	1,032
1331	116	1245 LANSLOWNE AVE	COX BETTY	1,032
1331	119	1239 LANSLOWNE AVE	LANGAN JOHN W JR	1,032
1331	120	1237 LANSLOWNE AVE	CAMDEN CITY	1,032
1331	127	1223 LANSLOWNE AVE	DEFINITIVE PROPERTIES LLC	1,232
1331	129	1438 LOUIS ST	MCCABE THOMAS J	1,084
1331	133	1205 LANSLOWNE AVE	MP & ASSOCIATE OF NJ	877
1331	134	1203 LANSLOWNE AVE	GREEN MICHAEL & GREEN ALVANETTE	846

## Private Properties Under Consideration for Acquisition (Continued)

Block	Lot	Address	Owner	Square Footage
1331	139	1436 LOUIS ST	THOMPSON SOPHIE	320
1332	73	1264 ATLANTIC AVE	URBAN INVESTORS I / SAHABA MANAGE	1,800
1332	74	1262 ATLANTIC AVE	MORALES ANDREA	1,800
1332	80	1250 ATLANTIC AVE	GREEN GILBERT R ET AL	2,412
1332	81	1246 ATLANTIC AVE	ALLEN JAMES	1,799
1332	86	1443 NORRIS ST	WANZER BARBARA	2,723
1332	137	1447 NORRIS ST	LEFTWICH CHARLES	1,125
1332	138	1449 NORRIS ST	BAINES TUFKA & POTTS TYRONE JR	1,099
1333	3	1276 LANSLOWNE AVE	ZIMMER RONALD	1,330
1333	13	1256 LANSLOWNE AVE	COSGROVE JAMES M & ARLENE L	1,330
1333	27	1228 LANSLOWNE AVE	JONES WILLIAM	1,383
1333	37	1456 LOUIS ST	JAPINGA WILLIAM R & JEAN B	1,090
1333	38	1458 LOUIS ST	KENWOOD 1437 CORP	1,090
1333	39	1460 LOUIS ST	JAPINGA WILLIAM R & JEAN B	1,090
1333	40	1462 LOUIS ST	WILSON MARIE T & QUAIL SANDRA	1,132
1333	52	1265 WHITMAN AVE	WEBER DEAN G & GAIL & FOSTER JOHN	1,417
1333	64	1237 WHITMAN AVE	HARDY MICHELLE D	1,327
1333	73	1217 WHITMAN AVE	VERDELL EUGENE JR	1,971
1333	78	1207 WHITMAN AVE	URBAN VIOLA	1,373
1333	79	1205 WHITMAN AVE	PUTTERMAN BETTY D	1,245
1335	65	1314 ATLANTIC AVE	WASKO L ET UX	1,800
1335	66	1312 ATLANTIC AVE	INGE CALVIN ET UX	1,600
1335	67	1310 ATLANTIC AVE	MOORE RONALD L	1,800
1335	68	1306 ATLANTIC AVE	GARIANO FRANK B	1,800
1335	85	1313 LANSLOWNE AVE	BERGER RALPH	2,000
1335	86	1311 LANSLOWNE AVE	TROST M	1,800
1335	87	1309 LANSLOWNE AVE	KEELS GEORGE & RUTH F	1,800
1335	97	SS ATLANTIC 40 E NORRIS	S GARIANO FRANK B	1,800
1335	98	SS ATLANTIC 80 E NORRIS	GARIANO FRANK B	1,800
1336	55	1338 ATLANTIC AVE	POWERS L J ET UX	1,800
1336	57	1334 ATLANTIC AVE	ST JOHNS LODGE	1,800
1336	58	1332 ATLANTIC AVE	NIX JOSHUA B	1,800
1336	101	1333-1335 LANSLOWNE AVE	MARRERO JOSE ANTONIO	3,600
1337	39	1465 PERSHING ST	CAREY STEVEN F & SHAWNA	1,040
1337	42	1471 PERSHING ST	BRASWELL ANDREA MARGO	702
1337	44	1341 WHITMAN AVE	PRYCE SHARON & BARNETT ANDREA	897
1337	45	1343 WHITMAN AVE	MARRERO FRANCISCO JR	559
1338	3	1352 LANSLOWNE AVE	BURKEY EMILY A	980
1338	6	1358 LANSLOWNE AVE	THOMAS LYNNE	1,358
1338	8	1362 LANSLOWNE AVE	MONROE LAND INVESTMENTS	3,819
1339	83	1144 WHITMAN AVE	STAFFORD ANTOINETTE L	1,218
1339	84	1142 WHITMAN AVE	DIMATTIO D	1,218
1341	8	1172 EVERETT ST	MORGAN SHAKIRAH	1,400
1341	18	1146 EVERETT ST	SUDERSAN WANDA Y	1,500

## Private Properties Under Consideration for Acquisition (Continued)

Block	Lot	Address	Owner	Square Footage
1341	61	1145 THURMAN ST	BENNETT JEROME ET UX	3,470
1342	80	1160 THURMAN ST	BAJAJ MOHINDER	1,326
1342	81	1158 THURMAN ST	LEE KYUNG WON	1,326
1342	99	1537 LOUIS ST	CISROW BOB J	1,142
1342	100	1539 LOUIS ST	WILSON PAUL & WILSON BERNICE	1,086
1342	101	1541 LOUIS ST	BERRIOS CARLOS & SANCHEZ ANA	1,086
1342	106	1191 MORTON ST	ZOPPI GREGORY S	1,300
1342	107	1189 MORTON ST	GLADIATOR INVESTMENT II LLC	1,300
1342	111	1181 MORTON ST	FARHAT MOHAMMAD	1,300
1342	118	1165 MORTON ST	PECKU OLUWAYEMIS I	1,944
1342	121	1159 MORTON ST	SPRATT STEVEN J	1,400
1342	122	1157 MORTON ST	CHAVIS JERRY ET UX	1,400
1343	82	SW WHITMAN & NORRIS ST	ETHERIDGE ARMALIE	8,502
1343	98	1242 WHITMAN AVE	CHANG GARETT	1,949
1343	101	1236 WHITMAN AVE	MILLER DALE	1,268
1343	102	1234 WHITMAN AVE	STOKES KEVIN D	1,268
1343	106	1222 WHITMAN AVE	MCCARGO ROBERT	2,925
1343	115	1293 EVERETT ST	PRITCHETT ROBERT F	1,285
1343	118	NS EVERETT 560 E OF	SALES FELIPA C	1,950
1343	119	NS EVERETT 540 E OF	SALES FELIPA C	1,950
1343	120	1281 EVERETT ST	SALES FELIPA C	1,950
1343	141	1225 EVERETT ST	AVILES IDEFONSO JR ET UX	1,268
1343	147	1476 LOUIS ST	SPRATT STEVEN	1,245
1343	148	1478 LOUIS ST	GLADIATOR INVESTMENT II LLC	1,162
1343	149	1480 LOUIS ST	ADM OF VET AFFAIRS	1,162
1343	150	1482 LOUIS ST	VERGELL NIGEL	1,162
1344	4	1507 NORRIS ST	TYSON TERRENCE B	1,204
1344	5	1509 NORRIS ST	FARHAT EZAT	1,204
1344	11	1521 NORRIS ST	BEN-YOSEF RONI	1,093
1344	39	1236 EVERETT ST	MORRISON LORETTA	1,600
1344	40	1234 EVERETT ST	LEWIS, SADIE	2,000
1344	41	1232 EVERETT ST	PALAU MANUEL	3,000
1344	46	1220 EVERETT ST	MUSTAPHA ISATTA F	4,500
1344	48	1204 EVERETT ST	KIRSCHBERG GUNNAR ET AL	6,000
1344	64	1249 THURMAN ST	HENRY RICARDO	2,000
1344	65	1247 THURMAN ST	FOSTER KIMBERLY	2,000
1344	77	1221 THURMAN ST	DOUGLAS BARRY L & DANIELLE R	1,700
1344	82	1209 THURMAN ST	WINTER ALVIN W JR	1,358
1344	87	1510 LOUIS ST	CUFF OLLIE M	1,200
1345	95	1266 THURMAN ST	SPRATT STEVEN	1,700
1345	96	1264 THURMAN ST	RUSS COREY D	1,600
1345	105	1246 THURMAN ST	HOLLAND WALTER	1,400
1345	111	1230 THURMAN ST	WHACK J L ET UX	4,000
1345	115	1220 THURMAN ST	FERNANDES ANTONIO	1,470

## Private Properties Under Consideration for Acquisition (Continued)

Block	Lot	Address	Owner	Square Footage
1345	117	1216 THURMAN ST	LEACH QUINTON L	1,650
1345	119	1212 THURMAN ST	MILCO ENTERPRISES	1,900
1345	120	1208 THURMAN ST	CARTER KIM	2,000
1345	124	SE THURMAN & LOUIS ST	TOWER OF PRAYER & DELIVERANCE	1,746
1345	126	1297 MORTON ST	RAMIREZ JOHN	1,386
1345	131	1281 MORTON ST	HAYES C	1,386
1345	137	1269 MORTON ST	DOUGLAS BARRY L & DANIELLE R	1,386
1345	138	1267 MORTON ST	SEAKAY LLC	1,584
1345	139	1265 MORTON ST	DIAZ ROSIAR	1,652
1345	145	1253 MORTON ST	YOUNG CAROLYN	1,287
1345	146	1251 MORTON ST	ROANE ROBERT & ANNA T	1,386
1345	148	1247 MORTON ST	SADLER W ETUX	1,287
1345	149	1245 MORTON ST	RUSSELL BRENDA	1,287
1345	150	1243 MORTON ST	JOHN NOLAN INC	1,765
1345	155	1229 MORTON ST	FRIENDSHIP BAPIST CHURCH	3,672
1345	156	1227 MORTON ST	CARTER LEON	1,525
1345	158	1223 MORTON ST	MORTGAGE ELECTRONIC REGISTRATION	1,607
1345	159	1219 MORTON ST	T MORTGAGE ELECTRONIC REGISTRATION	2,040
1345	165	1542 LOUIS ST	SESSIONS VANDER	1,400
1345	172	1210 THURMAN ST	PEREZ XIOMARA	2,000
1345	173	1529 NORRIS ST	AMIN KHALID	1,211
1345	177	1539 NORRIS ST	RALITSA MANAGEMENT LLC	1,354
1346	66	NS EVERETT 60 E NORRIS ST	STHOPE COMMUNITY OUTREACH SERVICES	2,047
1346	70	NS EVERETT 80 E NORRIS ST	STHOPE COMMUNITY OUTREACH SERVICES	2,047
1348	10	1435 CRESTMONT AVE	HARRIS DANIEL & NANNIE L	1,238
1348	15	1445 CRESTMONT AVE	FRAZIER DENISE R	1,281
1348	26	SE PERSHING & WHITMAN AVE	VEMIXON RAYMOND D & CAROLE N	827
1348	26	SE PERSHING & WHITMAN AVE	VEMIXON RAYMOND D & CAROLE N	10,000
1348	31	1360 WHITMAN AVE	MIXON RAYMOND D ET UX	14,496
1348	32	1362 WHITMAN AVE	WALLACE EMMA Y	1,036
1348	34	1366 WHITMAN AVE	JOHNSON RONALD G	1,036
1348	35	1368 WHITMAN AVE	KIDD CAROL	1,036
1348	37	1372 WHITMAN AVE	CHANGING TIMES INVESTMENTS	1,036
1348	38	1374 WHITMAN AVE	WILLIAMS JAMES H	1,036
1348	39	1376 WHITMAN AVE	CLARK BETTY J ET AL	1,036
1348	58			987
1349	4	1506 NORRIS ST	NITOGO MANAGEMENT INC	840
1349	15	1313 THURMAN ST	RKL GROUP LLC	1,385
1349	43	1311 THURMAN ST	BLAKE PRESTON & ELLAZENA	1,781
1349	102	NE THURMAN & NORRIS STS	HOLLAND BRENDA & WITHERSPOON TRAC	2,182
1350	60	1328 THURMAN ST	STEELE MARCELLUS R JR	2,180
1350	63	1336 THURMAN ST	ZIMMER RONALD	1,400
1350	64	1338 THURMAN ST	MP & ASSOCIATES OF NJ	1,400
1350	79	1341 MORTON ST	YOUNG DENNIS & DENISE	1,428

## Private Properties Under Consideration for Acquisition (Continued)

Block	Lot	Address	Owner	Square Footage
1350	122	1548 NORRIS ST	RKL GROUP LLC	1,013
1351	14	1168 MORTON ST	KINZER FRANK & DOROTHY	2,000
1351	15	SS MORTON 245 E MT EPHRM	M KINZER FRANK & DOROTHY	2,000
1351	16	SS MORTON 265 E MT EPHRM	M KINZER FRANK & DOROTHY	2,000
1351	17	1176 MORTON ST	ZADJEIKA GEORGE	2,000
1351	20	1184 MORTON ST	MILLER JAMAR	3,000
1351	26	1163 CHASE ST	JO-JAX ENTERPRISES INC	1,358
1351	41	1195 CHASE ST	RKL GROUP LLC	1,448
1351	42	1197 CHASE ST	JOYNER ROBERT J	1,552
1351	43	1199 CHASE ST	JOYNER ROBERT & BARBARA	1,998
1352	54	1164-1166 CHASE ST	BUY-RITE PLAZA	4,000
1352	58	1575 LOUIS ST	JENKINS JEANEEN V	1,120
1352	59	1577 LOUIS ST	WALKER SHANTONE DARRELL	943
1352	61	1581 LOUIS ST	SANTIAGO EDWIN & SANTIAGO ROSYMAR	963
1352	62	1583 LOUIS ST	QUAMARE ALSTON	963
1352	65	NS JACKSON 83 E MT E	BUY-RITE PLAZA	2,000
1352	67	1177 JACKSON ST	MANN ELLEN JUANITA	3,000
1352	72	1189 JACKSON ST	DALLAS, FRANKLIN ET UX	1,500
1352	74	1193 JACKSON ST	1193 JACKSON LLC	1,500
1352	76	1197 JACKSON ST	FORENTZ PARTNERSHIP	1,300
1352	108	SS CHASE 238 E MT EPHRAIM	IMGRACE HOME FOR CHILD INC	6,300
1353	88	1188 JACKSON ST	BRYANT WILLIAM ET AL	1,329
1353	89	1190 JACKSON ST	PAYTON OLIVER R	1,329
1353	90	1192 JACKSON ST	MORALES PEDRO M	1,329
1353	91	1601 LOUIS ST	RIOS NELLIE	638
1353	96	1611 LOUIS ST	WHITAKER FLOYD & DEBRA	560
1353	103	1187 SHERIDAN ST	PRATT SARAH	2,001
1353	107	1625 LOUIS ST	BANKERS TRUST COMPANY	1,418
1354	2	1553 NORRIS ST	BAKST DAVID	1,113
1354	3	1555 NORRIS ST	EASTERLING STAFFORD	1,113
1354	4	1557 NORRIS ST	TWYMAN F W	1,113
1354	5	1559 NORRIS ST	CONNOLLY WILLIAM & LYDONNA	1,113
1354	6	1561 NORRIS ST	PRUSSACK DAN O	1,113
1354	17	1232 MORTON ST	TYSON TERRANCE	1,274
1354	22	1222 MORTON ST	NELSON S ET UX	1,470
1354	23	1220 MORTON ST	JAMROGOWICZ STANLEY	1,470
1354	38	1251 CHASE ST	JERY LLC	1,520
1354	42	1243 CHASE ST	WEBER DEAN	1,981
1354	43	1241 CHASE ST	SADLOSKOS THOMAS	1,683
1354	44	1235 CHASE ST	MORGAN JINEENEE	1,520
1354	48	1227 CHASE ST	GERUNDO ROBERT & ZIMMER RON	1,711
1354	49	1225 CHASE ST	KHAN ABDUL JAMIL & RAKHSHINDA	1,330
1354	50	1223 CHASE ST	GRAHAM HERBERT ET UX	1,330
1354	114	1254 MORTON ST	DEAN FRANCES	2,221

## Private Properties Under Consideration for Acquisition (Continued)

Block	Lot	Address	Owner	Square Footage
1354	131	1248 MORTON ST	THE FAITH BASED SOLUTION INC	2,373
1354	141	1273 CHASE ST	IANUCCI DIANA A & COPPA JOSEPHINE	1,386
1354	151	1562 LOUIS ST	HERNDON FRED ET UX	607
1354	152	1564 LOUIS ST	MCRAE ROBERT V & HART VICTOR	607
1354	155	1570 LOUIS ST	AL-IBRAHIM FAROUK	607
1354	161	1256 MORTON ST	WAYS ANTHONY	1,414
1355	66	1244 CHASE ST	WHEELER, THOMAS ET UX	2,300
1355	68	1238 CHASE ST	BROWN REGINALD	1,700
1355	74	1224 CHASE ST	WAIFER BOBBY ET UX	1,400
1355	82	1202 CHASE ST	GARISON C	2,300
1355	83	NW JACKSON & NORRIS STS	UNITED NEIGHBORS OF WHITMAN PARK	5,344
1355	85	1271 JACKSON ST	WEBER DEAN G & MEROLA ILENE	1,400
1355	88	1253 JACKSON ST	KLEIN NECHAMA	1,358
1355	89	1251 JACKSON ST	GERMANS THEO S & KAUFMAN ANDREW J	1,358
1355	93	1243 JACKSON ST	MANTZ GREGG A	1,358
1355	101	1227 JACKSON ST	HARRIS DELORES	1,700
1355	102	1225 JACKSON ST	STONE ROBERT TR	1,300
1355	111	NE JACKSON & LOUIS STS	HOLLAND WALTER	4,922
1355	118	1296 CHASE ST	UNITED NEIGHBORS OF WHITMAN PARK	2,000
1355	173	1281 JACKSON ST	WEBER DEAN G	2,315
1356	3	1605 NORRIS ST	CORSI ELLEN TR	1,108
1356	4	1607 NORRIS ST	OLEFORO INNOCENT E	1,108
1356	5	1609 NORRIS ST	PRUSSACK DAN O	1,237
1356	15	1268 JACKSON ST	ACEVEDO CARLOS	1,769
1356	19	1260 JACKSON ST	HOUSTON JUSTIN & AMANDA	1,365
1356	28	1236 JACKSON ST	TROCHE JOSE S SR	2,030
1356	29	1232 JACKSON ST	JACQUES REALTY ENTERPRISES LLC	1,467
1356	36	1218 JACKSON ST	TROCHE JOSE S SR	1,365
1356	38	1214 JACKSON ST	ECONOMAKIS ANDREW	1,320
1356	39	1212 JACKSON ST	ZIBENSKY MICHAEL R	1,320
1356	47	1271 SHERIDAN ST	FARHAT ARAFAT	1,337
1356	48	1269 SHERIDAN ST	FARHAT ARAFAT	1,241
1356	49	1267 SHERIDAN ST	GLEMSEY WILLIAM	1,241
1356	50	1261 SHERIDAN ST	COLTRANE ERVIN J	2,561
1356	53	1255 SHERIDAN ST	TAYLOR STEVEN & RAQUEL	1,337
1356	62	1229 SHERIDAN ST	MENDEZ JORGE L	1,719
1356	63	1227 SHERIDAN ST	LANDERER ISAAC	1,576
1356	65	NS SHERIDAN 120 E LOUIS	MAGALLANES CARLOS F	1,970
1356	66	1215 SHERIDAN ST	QUAMARE ALSTON	1,970
1356	111	1234 JACKSON ST	CABRERA SHEYLA	2,030
1356	156	1624 LOUIS ST	PENICK JR FRANK E	1,909
1356	157	1626 LOUIS ST	PENICK FRANK E JR	1,236
1356	167	1622 LOUIS ST	CASTELLANO RODOLFO A	2,045
1356	170	1623 NORRIS ST	TROCHE JOSE S SR	1,150

## Private Properties Under Consideration for Acquisition (Continued)

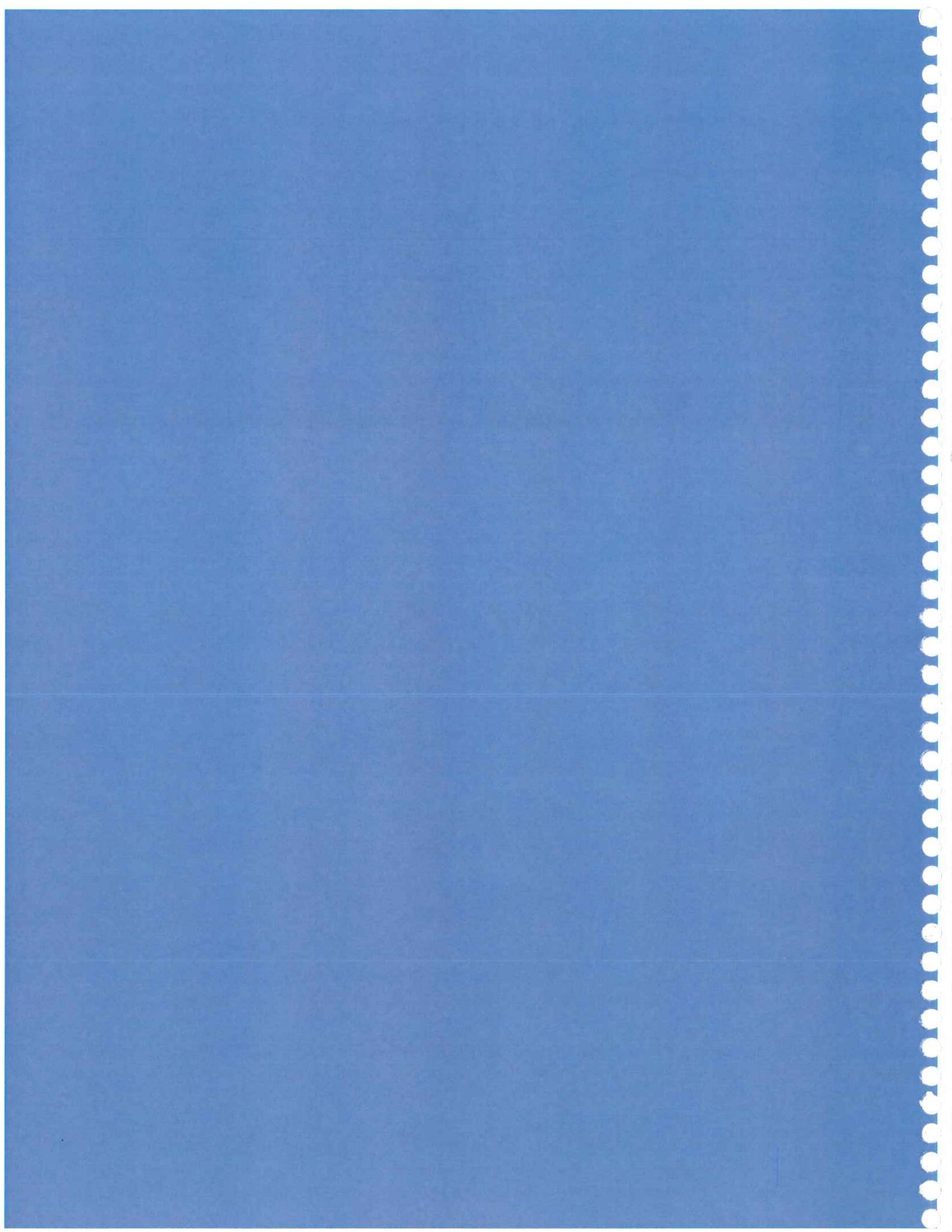
Block	Lot	Address	Owner	Square Footage
1356	199	NS SHERIDAN 460 E LOUIS	MUSCIANO R ET UX	1,970
1357	28	1566 NORRIS ST	HEINECKE RAYMOND L & EDNA K	1,078
1357	93	1338 MORTON ST	HARRIS BRUCE W	1,400
1358	7	SE NORRIS & CHASE ST	MAZAHREH NUHA, MAURICE & HALA	1,360
1358	38	SS CHASE 100 E NORRIS ST	T ABRAHAM BRUCE A	1,980
1358	47	1359 JACKSON ST	MOORE ROBERT L	1,472
1358	55	1320 CHASE ST	ABRAHAM BRUCE A	1,782
1358	94	SS CHASE 120 E NORRIS ST	T ABRAHAM BRUCE A	1,962
1359	6	1319 SHERIDAN ST	WILKINS DONALD ET AL	2,800
1359	9	1303 SHERIDAN ST	MADDRED PERCY L ET UX	2,000
1359	29	1610 NORRIS ST	RKL GROUP LLC	1,800
1360	62	1606 PERSHING ST	BATTEE III FRED	1,016
1360	92	1417 SHERIDAN ST	RF PRODUCTS INC	7,355
1361	2	1244 SHERIDAN ST	DUNHAM, LAWRENCE W.	896
1361	13	1224 SHERIDAN ST	KORNEGAY JOHN	1,400
1361	14	1222 SHERIDAN ST	SECY OF HUD	1,400
1361	15	1220 SHERIDAN ST	IVEY CHRISTOPHER L	1,400
1361	16	1218 SHERIDAN ST	BURDETT CHERYL	1,300
1361	17	1216 SHERIDAN ST	MILGRAM DANIEL	2,300
1361	18	1212 SHERIDAN ST	OREE PAUL ET UX	6,000
1361	20	SS SHERIDAN 176E MT EPHRM	RMFIGUEROA ESPERANZA	1,000
1361	22	1204 SHERIDAN ST	ALMUFTI AZMI	1,358
1361	23	1202 SHERIDAN ST	MENDEZ JORGE L	1,257
1361	37	1219 CARL MILLER BLVD	HARRISON BARBARA A	2,300
1361	38	1215 CARL MILLER BLVD	MOORE JEFFREY	2,000
1361	41	1650 MT EPHRAIM AVE	GSVJMW INC	1,491
1362	70	1292 SHERIDAN ST	LIGHTFOOT MINNIE	1,349
1362	71	1290 SHERIDAN ST	PRZYWARA J ET UX	1,393
1362	72	1288 SHERIDAN ST	JENKINS SHARON	1,691
1362	95	1676 COPE ST	COCHRANE JAMES ETUX	1,467
1362	96	1678 COPE ST	YOUNG DENNIS JR & DENISE C	1,426
1362	100	1250 SHERIDAN ST	LINDSEY DWIGHT	1,253
1362	113	1275 CARL MILLER BLVD	STRONG NATHANIEL & MORTON BARBARA	1,350
1363	51	1238 CARL MILLER BLVD	RKL GROUP LLC	1,448
1363	52	1236 CARL MILLER BLVD	SCOTT KAY A	1,300
1363	55	1228 CARL MILLER BLVD	WIMBERLY DONALD	1,444
1363	56	1226 CARL MILLER BLVD	SEWELL H ET UX	1,400
1363	57	1224 CARL MILLER BLVD	SANCHEZ MISAEL	1,500
1364	138	1253 DECATUR ST	DEVON PATRICK W	1,247
1364	145	1267 DECATUR ST	608 POINT LLC	1,190
1364	147	1271 DECATUR ST	HOLMES R JR	1,190
1364	149	1281 DECATUR ST	HARROWGATE REALTY INC	1,190
1364	151	1291 DECATUR ST	HOLMES MARGARET	1,190
1364	180	1275 DECATUR ST	FRAZIER EVELYNNE	1,190

## Private Properties Under Consideration for Acquisition (Continued)

Block	Lot	Address	Owner	Square Footage
1364	181	1277 DECATUR ST	MINZER LEON ET ALS	1,190
1364	182	1279 DECATUR ST	JOLAOSO SHOLA	1,190
1364	183	1283 DECATUR ST	GALE JOHN	1,190
1364	185	1287 DECATUR ST	SEARLS JOHN	1,190
1364	187	1293 DECATUR ST	IRIZARRY ROBERT A	1,332
1365	27	NS CARL MILLER 300E NORRS	RSIANNUCI DIANA A ET ALS	4,000
1365	70	1329 CARL MILLER BLVD	JORDAN J ST GIRARD	1,600
1365	124	1318 SHERIDAN ST	WILLIAMS SIDNEY ET UX	1,344
1367	45	1351 DECATUR ST	CABAN JORGE III	1,900
1367	62	1326 CARL MILLER BLVD	CHECCHIO DANIEL J	1,600
1367	69	1301 DECATUR ST	CRUZ ANTONIA D	2,000
1367	78	1300 CARL MILLER BLVD	CAL-BAY MORTGAGE GROUP	2,000
1368	99	NE DECATUR & PERSHING STS	TSVENELLA W ET UX	6,000
1368	100	1428 CARL MILLER BLVD	JENKINS RHONDA D	4,750
1369	11	1226 DECATUR ST	MCCABE THOMAS J	1,358
1369	50	1765 NORRIS ST	AL-IBRAHIM FAROUK	1,582
1369	56	1290 DECATUR ST	RUSSO GEORGE	2,800
1369	61	1767 NORRIS ST	DESAI ASHOK	1,007
1369	62	1769 NORRIS ST	BROWN BERNICE	1,007
1369	64	1773 NORRIS ST	CONNOLLY WILLIAM & LYDONNA	1,007
1369	79	1252 DECATUR ST	DEVON PATRICK W	1,400
1370	1	NS BROWNING 88E MT EPHRAIM	IMPRIDE OF CAMDEN LODGE #83 ET AL	1,300
1370	6	1292 DAYTON ST	STEVENS FRANK ET UX	1,885
1370	10	1252 DAYTON ST	MELENDEZ MIGUEL A JR	1,170
1370	24	1228 DAYTON ST	HOXTER JOEE	845
1370	46	NS BROWNING 108 E MT EPHR	HRPRIDE OF CAMDEN LODGE #83 ET AL	1,300
1370	71	NS BROWNING 348 E MT EPHR	HRMELENDEZ MIGUEL A JR	1,170
1371	1	1834 MT EPHRAIM AVE	VOICE OF HOPE DELIVERANCE CHURCH	5,412
1371	3	NS SAYRS 117 E MT EPHRM	AUGESTAR REIDAR	1,247
1371	4	1216 BROWNING ST	VOGUES SHALIMAR J	3,952
1371	30	1250 BROWNING ST	SCOTT CHAR	975
1371	43	1222 BROWNING ST	AUGESTAD REIDAR	971
1371	49	NS SAYRS 97 E MT EPHR	AUGESTAD REIDAR	1,300
1371	50	NS SAYRS 138 E MT EPHRM	HOLLOWAY MARVEL ET UX	1,300
1373	4	1764 NORRIS ST	JEGEDE ADELEKE & OLUFUNLAYO	1,920
1373	9	1770 NORRIS ST	GUY GERALD	1,920
1373	28	1355 DAYTON ST	NATIONAL STATE BANK	1,206
1373	29	1353 DAYTON ST	EDWARDS PRESTON & TAYLOR WILLE	1,206
1373	33	1331 DAYTON ST	FORTUNE WANDA & WASHINGTON MARK	1,782
1373	53	1342 DECATUR ST	MACKLIN VYELDA L	1,616
1375	5	1306 DAYTON ST	TLREF INC	975
1375	6	1308 DAYTON ST	WASHINGTON EDWARD	975
1375	7	1310 DAYTON ST	ROWELL HOLLY	975
1375	10	1347 BROWNING ST	THE ELECTRIC EQUIPMENT & MACHINE	1,075

## Private Properties Under Consideration for Acquisition (Continued)

Block	Lot	Address	Owner	Square Footage
1375	35	SS DAYTON 388 E NORRIS ST	STRIESS ANTHONY M & ANNA MARIE	1,106
1377	7	1306 BROWNING ST	HOWARD SAVINGS INST	1,350
1377	17	1339 SAYRS AVE	SAFANDA BARBARA A	1,430
1377	39	1352 BROWNING ST	AHUKA DARLINGTON	1,430
1377	41	1346 BROWNING ST	WILSON SYREETA D	1,950
1377	43	1338 BROWNING ST	AKUMUO BRIDGET	1,430
1377	44	1334 BROWNING ST	JACOBS YVONNE SHARPE	1,430
1378	20	NS SAYRS 170 E PERSHING	WILSON A T ET UX	5,276
1378	37	NS SAYRS 130 E PERSHING	CENEFRA VITO	2,600
1379	58	1372 SAYRS AVE	PEOPLES ANITA M	1,612
1381	29	SS CRESTMONT 165 W HADDON	ONSHORE BARRY, LOUISE, DAVID & WEND	3,400



APPENDIX B:  
PLANNING BOARD AND  
CITY COUNCIL AUTHORIZATIONS

