

PRELIMINARY AND FINAL SITE PLAN

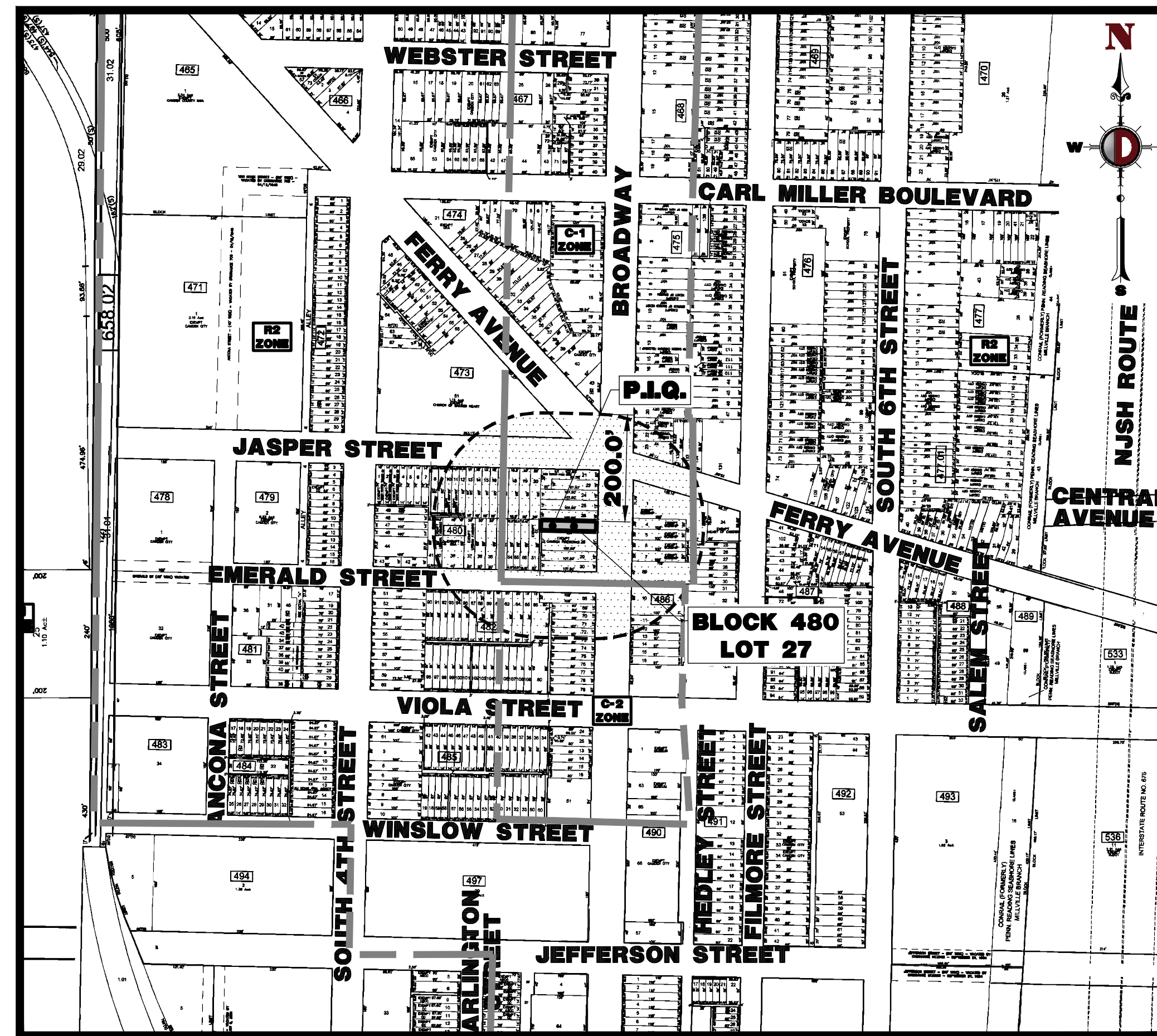
FOR HEART OF CAMDEN PROPOSED MAKERSPACE ADDITION BLOCK 480, LOT 27; TAX MAP SHEET 8.04 - LATEST REV. DATED 01-2019 1811 BROADWAY CITY OF CAMDEN CAMDEN COUNTY, NEW JERSEY

200' PROPERTY OWNERS LIST

PROPERTY OWNER	BLOCK	LOT	PROPERTY OWNER	BLOCK	LOT
CHURCH OF SACRED HEART 1730 FERRY AVENUE CAMDEN, NJ 08104	473	61	NGUYEN, PH 13 MURRAY WAY BLACKWOOD, NJ 08012	482	64
CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	475	21	CRUZ-FELICIANO, NATARY 434 EMERALD STREET CAMDEN, NJ 08104	482	65
CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	475	22	DANIELS, VANESSA C 436 EMERALD STREET CAMDEN, NJ 08104	482	66
HEART OF CAMDEN, INC 1840 SO BROADWAY CAMDEN, NJ 08104	475	23	OGBIJUKUR, OBYO 1825 BROADWAY CAMDEN, NJ 08104	482	68
HAMED, CAMAL S 5 MUFFERTSON ROAD TURNERSVILLE, NJ 08012	475	132	ORTIZ, MIGUEL 1825 BROADWAY CAMDEN, NJ 08104	482	69
HAMED, CAMAL S 5 MUFFERTSON ROAD TURNERSVILLE, NJ 08012	475	133	BROADWAY PARTNERS 1840 SO BROADWAY CAMDEN, NJ 08104	482	70
PAWNER, JAMES 414 JASPER STREET CAMDEN, NJ 08104	480	8	WATSON ST MGMT & DEVELOPMENT CORP 2021 WATSON STREET, 2ND FL CAMDEN, NJ 08105	482	71
MUSSETTO, BETTY E 416 JASPER STREET CAMDEN, NJ 08104	480	9	JEFFERSON PARTNERSHIP, LP 1840 BROADWAY CAMDEN, NJ 08104	482	72
MORGAN, MICHAEL W & NESTEL, BRITANI 418 JASPER STREET CAMDEN, NJ 08104	480	10	JONES, SUSAN 1833 BROADWAY CAMDEN, NJ 08104	482	73
HEART OF CAMDEN, INC 1840 BROADWAY CAMDEN, NJ 08104	480	11	NGUYEN, MICHAEL 422 EMERALD STREET CAMDEN, NJ 08104	482	87
ABED, ZAYED S 2708 OLD YORK ROAD BORDENTOWN, NJ 08005	480	12	EZ HOME BUYER, LLC 1120 MICHELLAN STREET PHILADELPHIA, PA 19148	482	88
RODRIGUEZ, CRISTINA L 424 JASPER STREET CAMDEN, NJ 08104	480	13	PADILLA, WANDA 426 EMERALD STREET CAMDEN, NJ 08104	482	89
THE HEART OF CAMDEN, INC 1840 S BROADWAY CAMDEN, NJ 08104	480	14	COLON CARLA 416 EMERALD STREET CAMDEN, NJ 08104	482	93
DAVIS, LORIN 426 JASPER STREET CAMDEN, NJ 08104	480	15	ALMODOVAR, CARMEN & COLON, DANIEL 418 EMERALD STREET CAMDEN, NJ 08104	482	94
MINER, WENDY 5913 TOLLING AVENUE PENNSAUKEN, NJ 08109	480	16	RODRIGUEZ, LUZ M 420 EMERALD STREET CAMDEN, NJ 08104	482	95
BROADWAY RECONSTRUCTION CORP 1106 ARRON CIRCLE SPRINGFIELD, NJ 08090	480	17	HOLY BETHEL PENTECOSTAL TEMPLE, INC SE BROADWAY & FERRY AVE PO BOX 239 PENNSAUKEN, NJ 08110	486	1
BROADWAY, DI-ANNA & JOHNNIE PO BOX 1422 CAMDEN, NJ 08101	480	18	HOLY BETHEL PENTECOSTAL TEMPLE, INC 1806-1812 BROADWAY PO BOX 239 PENNSAUKEN, NJ 08110	486	4
KELLY, MYRIE, MESS 430 JASPER STREET CAMDEN, NJ 08104	480	19	HEART OF CAMDEN, INC 1840 SO BROADWAY CAMDEN, NJ 08104	486	10
ABED, ABED S PO BOX 1728 CAMDEN, NJ 08105	480	20	BRITT, ERICA 1828 BROADWAY CAMDEN, NJ 08104	486	11
NICK VIRGILIO HARBOR ASSOCIATION INC 19 SANDWICHAM TERRACE CHERRY HILL, NJ 08003	480	21	SANCHEZ, AURELIO & DIDMA 1830 BROADWAY CAMDEN, NJ 08104	486	12
ALDAMA, DARO M 1830 BROADWAY CAMDEN, NJ 08104	480	23	SANCHEZ, AURELIO & DIDMA 1830 BROADWAY CAMDEN, NJ 08104	486	13
NEUWIRTH, AMADA M 1516 COLLINGS ROAD CAMDEN, NJ 08104	480	24	JAYCEE HOUSING COUNSELLING, INC 1840 BROADWAY CAMDEN, NJ 08104	486	25
M & M REAL ESTATE, LLC 800 KNORR STREET PHILADELPHIA, PA 19111	480	25	CLAYTON, IRIS L 828 BLOCKWOOD CLEMENTON, #29 PINE HILL, NJ 08021	486	26
HERNANDEZ, BRIANA M 4434 BAKER AVENUE PENNSAUKEN, NJ 08109	480	26	WATSON ST MGMT & DEVELOPMENT CORP 2021 WATSON STREET, 2ND FL CAMDEN, NJ 08105	486	27
HEART OF CAMDEN, INC 1840 BROADWAY CAMDEN, NJ 08104	480	27	HEART OF CAMDEN, INC 1840 SO BROADWAY CAMDEN, NJ 08104	486	28
CAMDEN FIREWORKS, INC 1813-1815 BROADWAY CAMDEN, NJ 08104	480	28	SOUTH BROADWAY LIMITED PARTNERSHIP 1840 SO BROADWAY CAMDEN, NJ 08104	486	29
JAVIER, RAFAEL 1040 NO 21TH STREET CAMDEN, NJ 08105	480	29	BATES, NATHANIEL PO BOX 4171 OAKLYN, NJ 08107	486	30
JAVIER, RAFAEL 1040 NO 21TH STREET CAMDEN, NJ 08105	480	30	FILLMORE STREET FAMILY, LP PO BOX 1512 CAMDEN, NJ 08101	486	31
CAMDEN FIREWORKS INCORPORATED 1813 BROADWAY CAMDEN, NJ 08104	480	31	BAH, CHERNOR 500 ADAMS LANE, #12E NEW BRUNSWICK, NJ 08902	486	32
OKWANGA, ELIZABETH 423 EMERALD STREET CAMDEN, NJ 08104	480	34	ALSO TO BE NOTIFIED: CAMDEN COUNTY M.U.I.A. 1645 FERRY AVENUE CAMDEN, NJ 08104		
OKWANGA, ELIZABETH 423 EMERALD STREET CAMDEN, NJ 08104	480	35	PUBLIC SERVICE ELECTRIC & GAS PO BOX 780 CAMDEN, NJ 07016-0790		
ORSANI, ANTHONY & DARLENE 421 EMERALD STREET CAMDEN, NJ 08104	480	36	VERIZON 540 BROAD STREET NEWARK, NJ 07101		
CENTER FOR TRANSFORMATION 1730 FERRY AVENUE CAMDEN, NJ 08104	480	37	AMERICAN WATER PO BOX 52747 PHOENIX, AZ 85072		
CAMDEN REDEVELOPMENT AGENCY 500 MARKET ST, 13TH FL CAMDEN, NJ 08102	480	38	NEW JERSEY AMERICAN WATER 1730 FERRY AVENUE ALTON, IL 62002 (SERVICING EAST CAMDEN & CROWER HILL)		
CENTER FOR TRANSFORMATION 1730 FERRY AVENUE CAMDEN, NJ 08104	480	40	COMCAST CABLEVISION 1200 HARTWOODFIELD-HERLIN ROAD CHERRY HILL, NJ 08034-0404		
RIVERA, JOSE & MALDONADO, BRUNILDA 426 EMERALD STREET CAMDEN, NJ 08104	480	85			
WILLIAMS, JUNE 431 EMERALD STREET CAMDEN, NJ 08104	480	86			
NGUYEN, MICHAEL V 13 MURRAY WAY BLACKWOOD, NJ 08012	482	62			
NGUYEN, PH 13 MURRAY WAY BLACKWOOD, NJ 08012	482	63			



KEY MAP
1" = 2000'



AREA MAP
1" = 200'

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PLANNING BOARD APPROVAL	
APPROVED BY THE PLANNING BOARD OF CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY	
CHAIRMAN	DATE
SECRETARY	DATE
BOARD ENGINEER	DATE

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Newtown, Pennsylvania T: 267.485.0276 | Philadelphia, Pennsylvania T: 215.253.4886 | Bethlehem, Pennsylvania T: 610.598.4400 | Annapolis, Maryland T: 410.547.5000

TITLE: COVER SHEET	
PROJECT: HEART OF CAMDEN PROPOSED MAKERSPACE ADDITION BLOCK 480, LOT 27 1811 BROADWAY CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY	JOB No: 4688-23-01705 DATE: 04/17/2024
DESIGNED BY: AMN	SCALE: (H) AS SHOWN
CHECKED BY: MJP	SHEET No: 1
CHECKED BY: RTO	OF 7
CHECKED BY: -	Rev. # 0

RICHARD T. ORTIZ
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NEW JERSEY LICENSE No. 60149

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PROFESSIONAL ENGINEER
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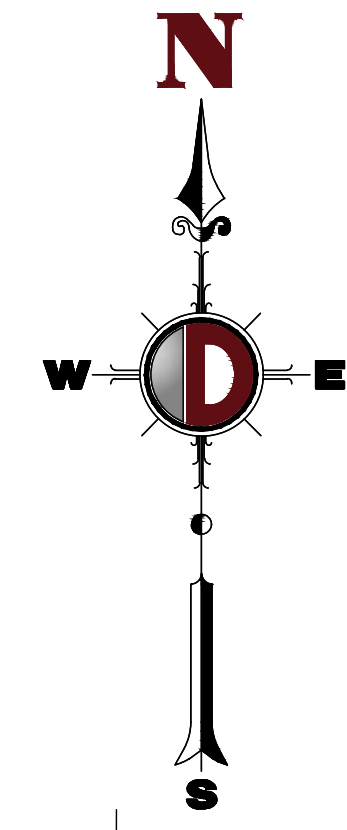
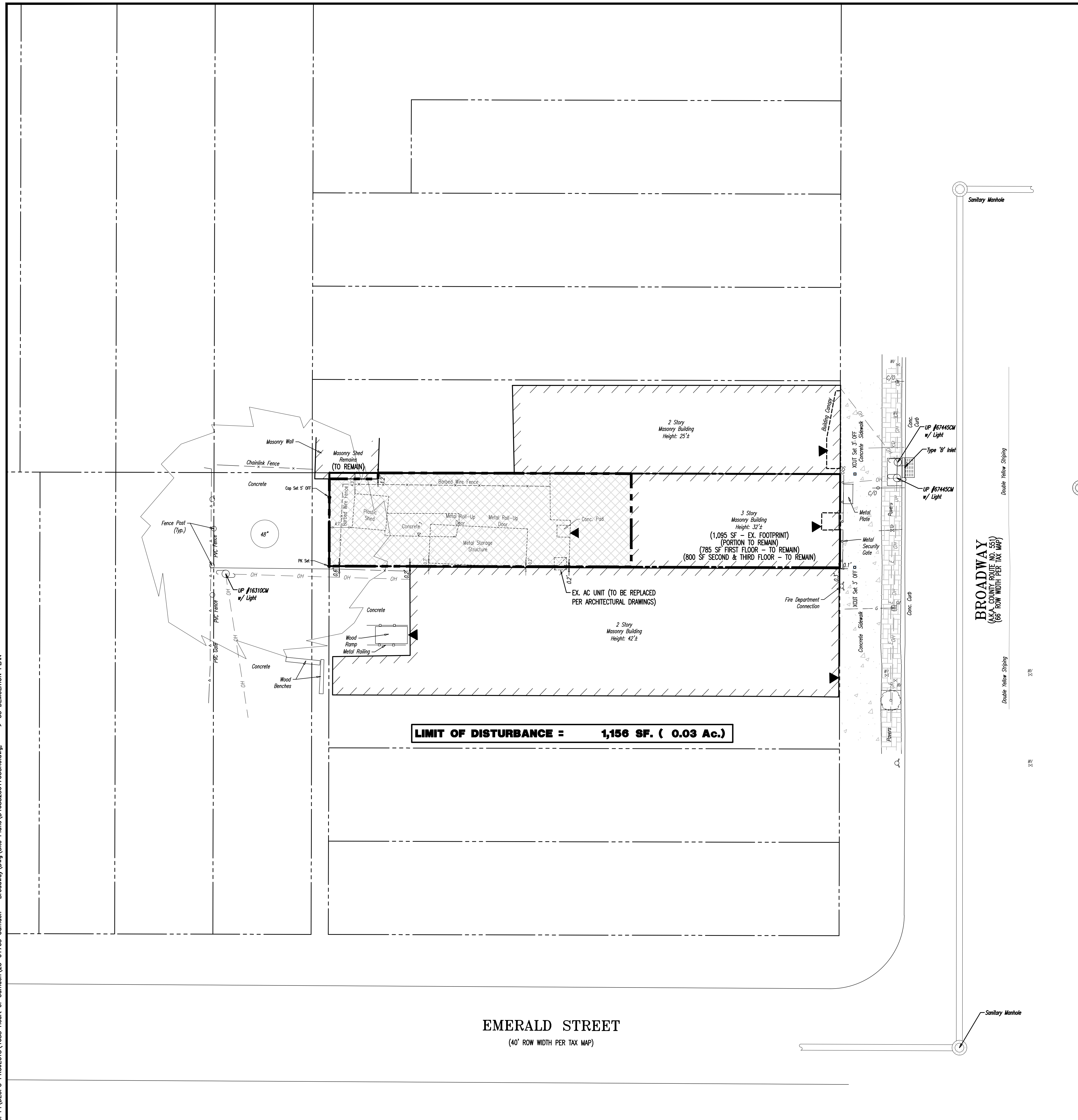
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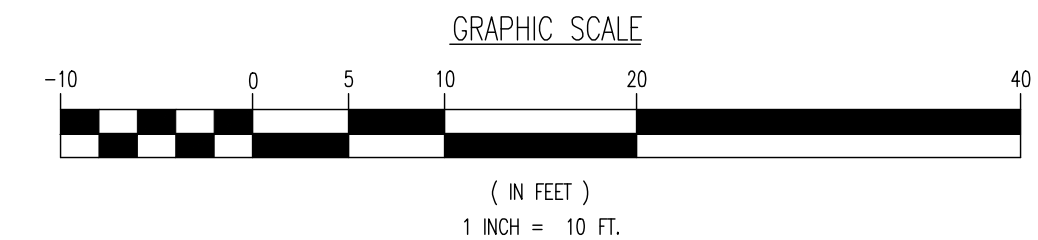
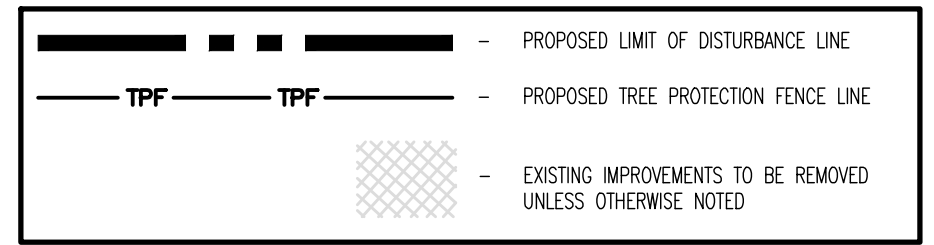


DEMOLITION NOTES

1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
3. COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
4. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
5. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND.
6. BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
7. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
9. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAVEMENT OR BREAK BASEMENT FLOOR SLABS. SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REVEAL STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, CRAWL SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
10. ERECT AND MAINTAIN COVERED PASSAGeways IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS. PLACE THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY.
11. REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
12. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
13. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
14. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
15. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOLOGICAL REPORT, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
16. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURIED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
17. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.
19. VERIFY THAT ALL ENVIRONMENTAL CONCERNS INCLUDING BUT NOT LIMITED TO ASBESTOS, LEAD BASED PAINT, HAZARDOUS MATERIALS, UNDERGROUND STORAGE TANKS, AND TRANSFORMERS HAVE BEEN REMOVED PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES. THESE ARE NOT SHOWN ON THE PLANS. REFER TO ENVIRONMENTAL REPORTS AND DOCUMENTS FOR LOCATIONS AND DISPOSAL PROCEDURES.

- NOTES**
1. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
 2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
 3. ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE MAIN FOR WATER, AT THE CLEAN-OUT FOR SEWER AND THE SHUT-OFF VALVE OR MAIN FOR GAS IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
 4. ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.

DEMOLITION PLAN LEGEND



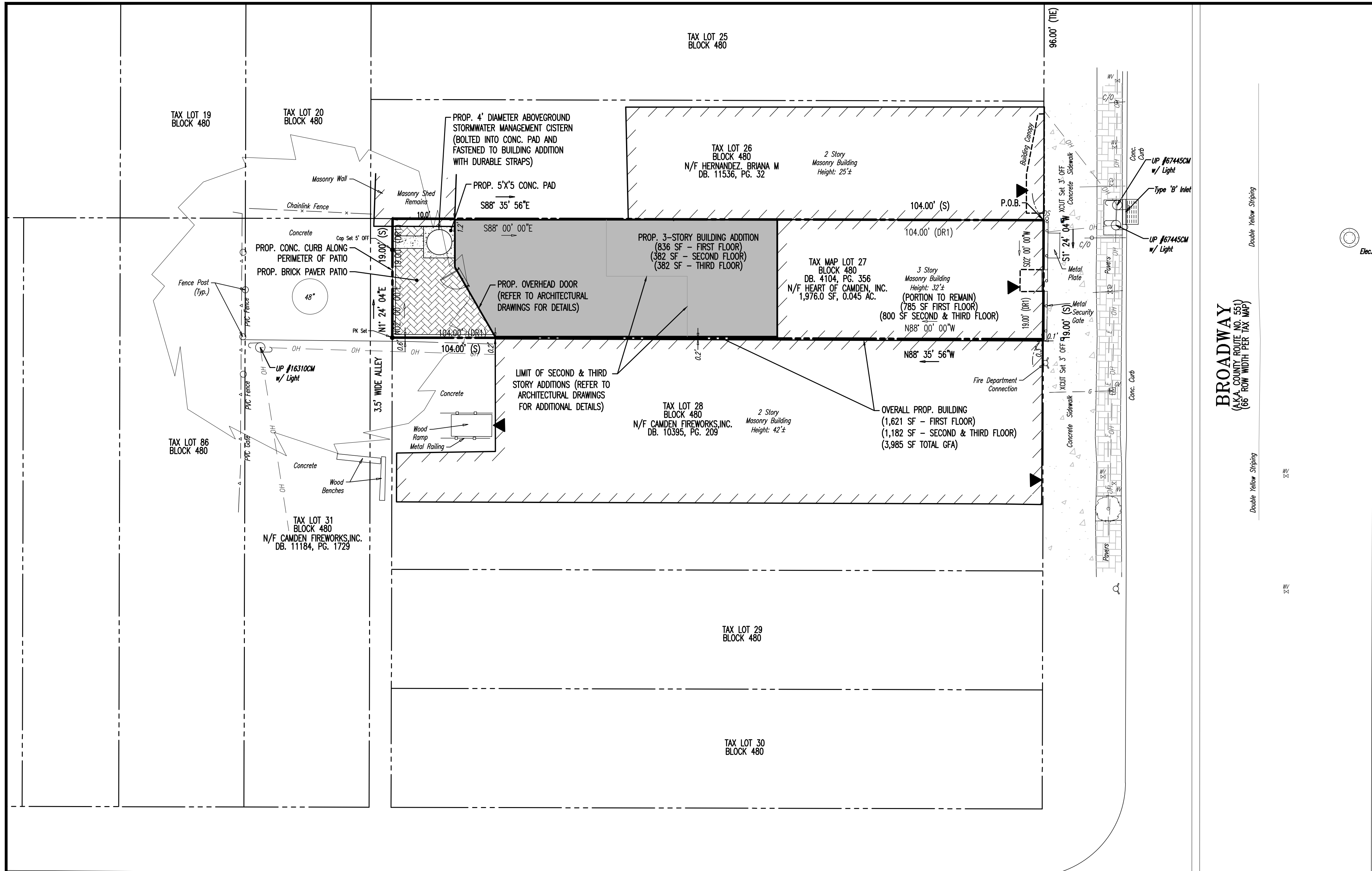
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<p>DEMOLITION PLAN</p>	
<p>TITLE: DEMOLITION PLAN</p>	<p>JOB No: 4688-23-01705</p>
<p>PROJECT: HEART OF CAMDEN PROPOSED MAKERSPACE ADDITION BLOCK 480, LOT 27 1811 BROADWAY CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY</p>	<p>DATE: 04/17/2024</p> <p>DRAWN BY: AMN</p> <p>DESIGNED BY: MJP</p> <p>CHECKED BY: RTO</p> <p>CHECKED BY: -</p>
<p>RICHARD T. ORTIZ PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 60149</p>	<p>RODMAN R. RITCHIE PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 43547</p>
<p>811 PROTECT YOURSELF ALL STATES REQUIRE NOTIFICATION OF EXISTING UTILITIES. IF ANY UTILITY IS LOCATED, IT MUST BE MARKED AND DEPTH VERIFIED PRIOR TO ANY EXCAVATION. FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM</p>	
<p>3 OF 7</p>	

Rev.	Date	Comments



GENERAL NOTES

- THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:
 - ATA/NSPS LAND TITLE SURVEY
 - DYNAMIC SURVEY, LLC
 - 1904 MAIN STREET
 - LAKE COMO, NEW JERSEY 07719
 - PREPARED: 12/04/2023
 - SURVEYOR FILE NO: 4688-23-01711
- APPLICANT/OWNER: HEART OF CAMDEN
1840 BROADWAY
CAMDEN, NJ 08104
- PARCEL DATA: BLOCK 480, LOT 27
1811 BROADWAY
CITY OF CAMDEN
CAMDEN COUNTY, NJ
- ZONE: C-1 (COMMERCIAL) ZONE
- EXISTING USE: RETAIL (PERMITTED USE) (§ 870-62)
- PROPOSED USE: MAKERSPACE ADDITION (PERMITTED USE) (§ 870-65)
- SCHEDULE OF ZONING REQUIREMENTS (§ 870-66)

ZONE REQUIREMENT	ZONE C-1	EXISTING	PROPOSED
MINIMUM LOT AREA	1,000 SF	1,976.0 SF (0.045 AC) (C)	1,976.0 SF (0.045 AC) (C)
MINIMUM LOT WIDTH	20 FT	19.0 FT (E)	19.0 FT (E)
MINIMUM FRONT YARD SETBACK	N/A	0 FT	0 FT
MINIMUM REAR YARD SETBACK	30 FT	44.9 FT (C)	10.0 FT (M)
MINIMUM SIDE YARD SETBACK	20 FT	0 FT (E)	0 FT (E)
MAXIMUM BUILDING HEIGHT	4 STORES OR 45 FT	32.0 FT	32.0 FT
MAXIMUM BUILDING COVERAGE	80%	55.4% (1,095 SF)	82.0% (1,621 SF) (M)
MAXIMUM IMPERVIOUS COVERAGE	80%	68.9% (1,361 SF)	100% (1,976 SF) (V)

N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-COMFORMANCE (V): VARIANCE

- PARKING REQUIREMENTS
 - IN ALL ZONING DISTRICTS, AT THE TIME ANY BUILDING OR STRUCTURE IS ERRECTED, ENLARGED, OR INCREASED IN CAPACITY, THERE SHALL BE PROVIDED OFF-STREET PARKING FOR AUTOMOTIVE, BICYCLE AND OTHER VEHICLES AND OFF-STREET LOADING FACILITIES IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH HEREIN AS WELL AS THE PARKING SPACE REQUIREMENTS FOR THE HANDICAPPED CONTAINED IN P.L. 1975, CHAPTER 221, AND THE APPLICABLE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT OF 1990 REQUIRING PARKING SPACES FOR THE HANDICAPPED. ALL REQUIRED PARKING AND LOADING FACILITIES SHALL BE PAVED WITH AN ALL-WEATHER IMPERVIOUS SURFACE AND SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. THE CONSTRUCTION, ALTERATION, OR ENLARGEMENT OF ANY PUBLIC OR PRIVATE PARKING OR LOADING AREA OR OF ACCESS TO SUCH AREA(S) SHALL REQUIRE SITE PLAN APPROVAL BY THE PLANNING BOARD. (§ 870-230 A.) (W/WR - NO ON-SITE PARKING SPACES PROPOSED)
 - BUILDINGS AND USES WHICH EXISTED ON THE EFFECTIVE DATE OF THIS CHAPTER ARE EXEMPT FROM THE PROVISIONS OF THIS ARTICLE, UNLESS SAID BUILDING OR USE SHALL BE GRANTED A VARIANCE FOR AN ENLARGEMENT OR THERE IS AN INCREASE IN INTENSITY OF THE EXISTING STRUCTURE, IN WHICH CASE THE PROVISIONS OF THIS ARTICLE SHALL APPLY AS FOLLOWS: (§ 870-230 B.)
 - IF THE ENLARGEMENT IS OF A VALUE LESS THAN 25% OF THE REPLACEMENT VALUE, PARKING AND LOADING AREA REQUIREMENTS SHALL BE AT THE DISCRETION OF THE ZONING OFFICER/ADMINISTRATIVE OFFICER. (§ 870-230 B.(1))
 - IF THE ENLARGEMENT IS OF A VALUE GREATER THAN 25% OF THE REPLACEMENT VALUE OF THE BUILDING, FULL COMPLIANCE WITH THIS ARTICLE IS REQUIRED. (§ 870-230 B.(2))
 - REQUIRED PARKING SPACES OR LOADING BERTHS MAY NOT BE LOCATED ON STREETS OR ACCESS AISLES OR DRIVEWAYS. NO AREAS SPECIFICALLY INTENDED FOR PARKING OR LOADING USE MAY BE LOCATED BETWEEN THE FRONT BUILDING LINE AND THE STREET LINE UNLESS OTHERWISE SPECIFIED IN OTHER SECTIONS OF THIS CHAPTER. (§870-230 K.) (N/A - NO ON-STREET OR OFF-STREET PARKING PROPOSED)
 - ALL REQUIRED PARKING SPACES SHALL BE ON THE SAME LOT OR TRACT OF LAND AS THE BUILDING OR USE TO WHICH THEY ARE ACCESSORY UNLESS THE PLANNING BOARD OR ZONING BOARD ON ADJUSTMENT, AS PART OF THE SITE PLAN REVIEW, SHALL APPROVE COLLECTIVE OFF-STREET PARKING FACILITIES FOR TWO OR MORE BUILDINGS OR USES ON CONTIGUOUS LOTS. THE TOTAL NUMBER OF SPACES IN SUCH COLLECTIVE OFF-STREET PARKING FACILITIES SHALL BE NOT LESS THAN THE SUM OF THE SPACES REQUIRED FOR THE INDIVIDUAL USES, COMPUTED SEPARATELY. SUCH APPROVAL SHALL BE GRANTED ONLY SUBJECT TO THE SUBMISSION OF APPROPRIATE DEED RESTRICTIONS, ACCEPTABLE TO THE PLANNING BOARD OR ZONING BOARD ATTORNEY, GUARANTEEING THE AVAILABILITY OF SUCH FACILITIES THROUGHOUT THE LIFE OF THE BUILDINGS OF USES TO WHICH THEY ARE PROPOSED TO BE ACCESSORY. (§ 870-230 L.) (W/WR - NO ON-SITE PARKING SPACES PROPOSED, OFF-SITE PARKING LOT TO BE UTILIZED)
 - IN ADDITION TO THE REQUIRED FACILITIES FOR PASSENGER AUTOMOBILES, FACILITIES FOR THE SECURE AND CONVENIENT PARKING OF BICYCLES SHALL BE PROVIDED. THE NUMBER OF SUCH BICYCLE SPACES SHALL NOT BE LESS THAN 10% OF THE FIRST 100 REQUIRED AUTOMOBILE PARKING SPACES AS SPECIFIED ABOVE PLUS 2% OF ANY AMOUNT THEREAFTER; PROVIDED, HOWEVER, THAT SHOULD IT BE DEMONSTRATED THAT THE PROPOSED USE OF THE DEVELOPMENT APPLICATION WILL GENERATE A GREATER NEED FOR BICYCLE PARKING THAN THAT PROVIDED FOR HEREIN, THE PLANNING BOARD MAY REQUIRE A REASONABLE INCREASE IN BICYCLE PARKING SPACES. BICYCLE PARKING FACILITIES SHALL BE OF SUCH TYPE AND QUANTITY SO AS TO ENCOURAGE AND FACILITATE THE USE OF THE BICYCLE AS A MEANS OF TRANSPORTATION BY THE EMPLOYEES AND CUSTOMERS OF THE LAND OR BUILDING. (§ 870-230 E.) (N/A)
 - RECREATION CENTERS, CLUBS AND SERVICE ORGANIZATIONS SHALL PROVIDE 1 SPACE PER 500 SQUARE FEET PLUS 1 PARKING SPACE PER TWO EMPLOYEES. (§ 870-230 F.)
 - LOADING CALCULATION:

(3,985 SF)*(1 PARKING SPACE/500 SF)	=	8 SPACES
(2 EMPLOYEES)*(1 PARKING SPACE/2 EMPLOYEES)	=	1 SPACES
TOTAL SPACES REQUIRED	=	9 SPACES
TOTAL SPACES PROPOSED	=	0 SPACES (VARIANCE)

 (THE EXISTING PARKING LOT WITHIN BLOCK 480, LOTS 10, 33-36 & 89 WILL SERVE THE PROPERTY IN QUESTION)

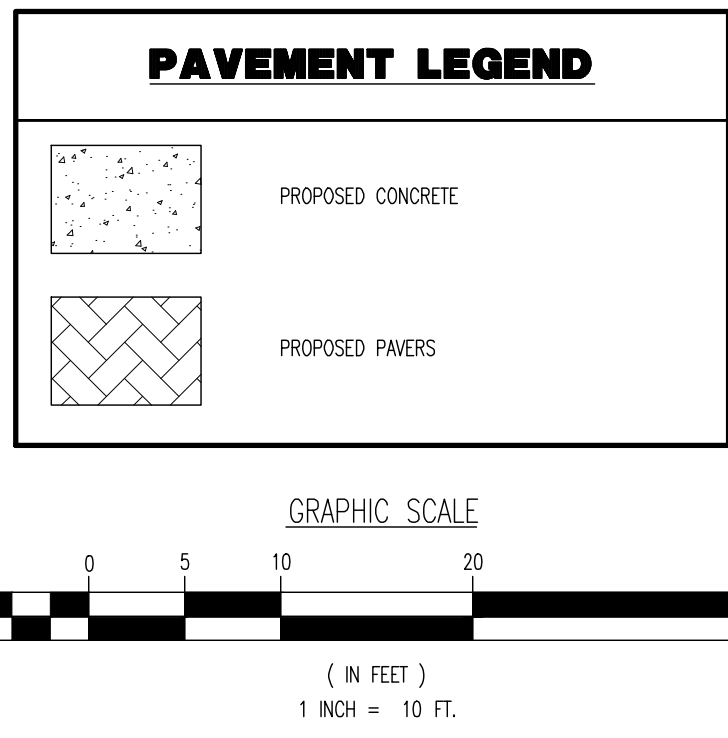
- LOADING REQUIREMENTS
 - EVERY BUILDING OF THE TYPE DESCRIBED BELOW WHICH IS HEREAFTER BUILT, RELOCATED OR STRUCTURALLY ALTERED TO THE EXTENT OF MORE THAN A 50% ADDITION IN FLOOR AREA SHALL HAVE OFF-STREET LOADING SPACES IN ACCORDANCE WITH THE FOLLOWING SCHEDULE: (§ 870-231 C.(1))
 - A BUILDING WHOSE DOMINANT USE IS HANDLING AND SELLING OF RETAIL GOODS SHALL PROVIDE AT LEAST ONE LOADING SPACE IF IT HAS BETWEEN 20,000 AND 40,000 SQUARE FEET OF FLOOR AREA, AND ONE ADDITIONAL SPACE FOR EACH ADDITIONAL 60,000 SQUARE FEET. (§ 870-231 C.(1)(A))
 - A MANUFACTURING, REPAIR, WHOLESALE OR WAREHOUSE USE SHALL PROVIDE AT LEAST ONE LOADING BERTH IF IT HAS BETWEEN 10,000 AND 20,000 SQUARE FEET OF FLOOR AREA, AND ONE ADDITIONAL SPACE FOR EACH ADDITIONAL 40,000 SQUARE FEET. A TRUCKING TERMINAL USE SHALL PROVIDE ONE LOADING BERTH IF IT HAS BETWEEN 10,000 AND 20,000 SQUARE FEET OF FLOOR AREA, AND ONE ADDITIONAL BERTH FOR EACH ADDITIONAL 20,000 SQUARE FEET. (§ 870-231 C.(1)(B))
 - OTHER USES AND BUILDINGS NOT LISTED ABOVE BUT HAVING OVER 10,000 SQUARE FEET OF FLOOR AREA SHALL PROVIDE ONE LOADING SPACE. THIS INCLUDES BUT IS NOT LIMITED TO OFFICES, HOTELS, HOSPITALS AND MORTUARIES. (§ 870-231 C.(1)(C))
 - EACH REQUIRED LOADING BERTH SHALL BE AT LEAST 12 FEET WIDE, 50 FEET LONG AND 14 FEET HIGH. ANY AREA USED REGULARLY FOR LOADING SHALL BE SO DESIGNED AS TO PREVENT THE USE THEREOF FROM HINDERING THE FREE MOVEMENT OF VEHICLES AND PEDESTRIANS ON ANY STREET, ALLEY, OR SIDEWALK, OR FROM PREEMPTING ANY REQUIRED PARKING SPACES. EACH REQUIRED LOADING SPACE SHALL BE PROVIDED WITH UNOBSTRUCTED ACCESS TO AND FROM A STREET OR ALLEY, HAVING A WIDTH OF NOT LESS THAN 10 FEET. SUCH ACCESS MAY BE COMBINED WITH ACCESS TO A PARKING LOT. NO ENTRANCE OR EXIT FROM ANY LOADING AREA OR BERTH SHALL BE LOCATED WITHIN 50 FEET OF ANY STREET INTERSECTION. ALL REQUIRED LOADING AREAS OR BERTHS SHALL BE ON THE SAME LOT AS THE USE TO WHICH THEY ARE ACCESSORY AND SHALL BE SO ARRANGED AS TO PERMIT THE SIMULTANEOUS USE OF ALL BERTHS WITHOUT BLOCKING OR OTHERWISE INTERFERING WITH THE USE OF AUTOMOBILE ACCESSWAYS, PARKING FACILITIES, FIRE LANES OR SIDEWALKS. NO OFF-STREET LOADING AREA SHALL BE LOCATED BETWEEN THE FRONT BUILDING LINE AND THE STREET LINE UNLESS OTHERWISE SPECIFIED IN THIS CHAPTER. NO OFF-STREET PARKING OR LOADING AREA SHALL BE LOCATED WITHIN FIVE FEET OF THE STREET RIGHT-OF-WAY LINE, AND NO LOADING AREA SHALL BE PERMITTED IN A SIDE YARD. (§ 870-231 C.(2)) (N/A)
- LOADING CALCULATION:

1 LOADING SPACE IF OVER 10,000 SF	=	0 SPACES
TOTAL PROPOSED	=	0 SPACES (COMPLEX)

- GENERAL NOTES CONTINUED:**
- BUFFER REQUIREMENTS
 - ALL LOTS OR PARTS OF LOTS WHICH ARE IMPROVED WITH A PREDOMINANTLY NONRESIDENTIAL USE AND WHOSE SIDE OR REAR LINES ARE ADJACENT TO A RESIDENTIAL ZONE AND/OR USE SHALL BE SCREENED BY LANDSCAPED TRANSITION AREAS OR BUFFER STRIPS OR OTHER SUCH SCREENING ALONG SIDE OR REAR LINES AS MAY BE REQUIRED BY THE PLANNING BOARD. LANDSCAPE TRANSITION AREAS OR BUFFERS SHALL BE PROVIDED TO MINIMIZE AND SCREEN ANY ADVERSE IMPACTS OR NUISANCES ON A SITE OR FROM ANY ADJACENT AREA. YARD REQUIREMENTS MAY BE DEEMED TO BE INCLUDED AS PART OF A LANDSCAPE TRANSITION AREA OR BUFFER OR FROM ANY ADJACENT SITE OR AREA. (§ 870-244 A.) (N/A - PROPERTY IS NOT ADJACENT TO RESIDENTIAL ZONE)
 - BUFFERS SHALL BE LOCATED ALONG PROPERTY LINES SHELDERING VARIOUS USES AND ACTIVITIES FROM EACH OTHER. (§ 870-244 A.(3)(A)) (N/A - PROPERTY IS NOT ADJACENT TO RESIDENTIAL ZONE)
 - A BUFFER SHALL CONSIST OF LAWN AREAS AND MASSSED EVERGREEN AND DECIDUOUS TREES AND SHRUBS PLANTED IN A MANNER THAT WILL PROVIDE A CONTINUOUS VISUAL SCREEN THROUGHOUT THE ENTIRE YEAR. (§ 870-244 A.(3)(B)) (N/A - PROPERTY IS NOT ADJACENT TO RESIDENTIAL ZONE)
 - WHERE AN AREA REQUIRED FOR A BUFFER IS ALREADY WOODED, IT SHALL BE LEFT IN ITS NATURAL STATE, AND EXISTING GROWTH SHALL BE CONSISTENT WITH THE NATURAL SURROUNDINGS AND SHALL BE PROPERLY MAINTAINED THROUGHOUT THE LIFE OF ANY USE ON SAID LOT. EXISTING TREES OR LANDSCAPING LOCATED WITHIN 20 FEET OF ANY STREET OR LOT LINE OR ZONE BOUNDARY SHALL NOT BE REMOVED EXCEPT WITH THE WRITTEN APPROVAL OF THE PLANNING BOARD, NOR SHALL THE EXISTING GRADE WITHIN THAT SPACE BE DISTURBED WITHIN SUCH APPROVAL. (§ 870-244 A. 3.(3))
 - A BUFFER SHALL BE AT LEAST FIVE FEET IN WIDTH AND SHALL BE GRADED AND PLANTED WITH GRASS SEED OR SOD AND SUCH OTHER SHRUBBERY OR TREES AS MAY BE DESIRED BY THE OWNER. THE ENTIRE AREA SHALL BE ATTRACTIVELY MAINTAINED AND KEPT CLEAN OF ALL DEBRIS AND RUBBISH. (§ 870-244 A.(3)(E)) (N/A - PROPERTY IS NOT ADJACENT TO RESIDENTIAL ZONE)
 - BUFFERS SHALL PROVIDE A YEAR-ROUND VISUAL AND AUDITORY SCREEN FROM A DEVELOPMENT TRACT TO ADJACENT PROPERTIES AND VICE VERSA IN ORDER TO MINIMIZE ADVERSE IMPACTS. IT MAY CONSIST OF EXISTING NATURAL VEGETATION OR BE CREATED USING EVERGREENS, LANDSCAPED BERMS, ROCKS OR BOUNDARIES, OR COMBINATIONS THEREOF, TO ACHIEVE THE SAME OBJECTIVES (§ 870-244 E.(1)) (N/A - PROPERTY IS NOT ADJACENT TO RESIDENTIAL ZONE)
 - EVERY DEVELOPMENT SHALL PROVIDE SUFFICIENT BUFFERING WHEN TOPOGRAPHICAL OR OTHER BARRIERS DO NOT PROVIDE REASONABLE SCREENING AND WHEN THE PLANNING BOARD DETERMINES THAT THERE IS A NEED TO SHIELD NEIGHBORING PROPERTIES FROM ANY ADVERSE EXTERNAL EFFECTS OF A DEVELOPMENT OR TO SHIELD THE DEVELOPMENT FROM NEGATIVE IMPACTS OF ADJACENT USES SUCH AS STREETS OR RAILROADS. IN HIGH-DENSITY DEVELOPMENTS, WHEN BUILDING DESIGN AND LOCATION DO NOT PROVIDE PRIVACY, THE PLANNING BOARD MAY REQUIRE LANDSCAPING, FENCES OR WALLS TO SCREEN DWELLING UNITS FOR PRIVACY. BUFFERS SHALL BE MEASURED FROM SIDE AND REAR PROPERTY LINES, EXCLUDING DRIVEWAYS (§ 870-244 E.(2)) (N/A - PROPERTY IS NOT ADJACENT TO RESIDENTIAL ZONE)
 - WHERE RESIDENTIAL AND NONRESIDENTIAL USES OR ZONES ADJUT, A BUFFER STRIP OF AT LEAST 25 FEET SHALL BE REQUIRED, WITH THE WRITTEN APPROVAL OF THE ADJOINING PROPERTY OWNER AND RECORDING OF AN APPROPRIATE LANDSCAPE EASEMENT. SATISFACTION OF THE FOREMENTIONED BUFFER REQUIREMENT MAY BE ACHIEVED BY THE INSTALLATION OF PLANT MATERIALS ON EACH ADJOINING PROPERTY CONTIGUOUS TO THE PROPERTY LINE BEING BUFFERED (§ 870-244 E.(3)(A)) (N/A - PROPERTY IS NOT ADJACENT TO RESIDENTIAL ZONE)
 - FENCE REQUIREMENTS
 - NO FENCE THAT IS A SOLID FENCE SHALL BE ERRECTED FROM THE FRONT OF A HOUSE OR BUILDING LINE FORWARD. THIS INCLUDES FENCES ERRECTED ALONG A PUBLIC ROAD OR ACROSS A FRONT YARD. (§ 870-197 A.)
 - ALL FENCES MUST BE ERRECTED WITHIN THE PROPERTY LINE. (§ 870-197 E.)
 - A FENCE NOT MORE THAN SIX FEET IN HEIGHT IS PERMITTED ALONG THE REAR LOT LINE AND ALONG THE SIDE LOT LINE TO THE FRONT BUILDING LINE. A FENCE NOT MORE THAN FOUR FEET TALL IS PERMITTED ALONG THE SIDE LOT LINE FROM THE FRONT BUILDING LINE TO THE FRONT LOT LINE AND ALONG THE FRONT LOT LINE. (§ 870-197 F.)
 - EXCEPT WHERE A TALLER FENCE IS REQUIRED BY THE PROVISIONS OF §467-13 (JUNKYARDS), § 500-5 (OPEN LOTS) AND § 785-12 (STORAGE YARDS), NO FENCE HEREINAFTER ERRECTED SHALL EXCEED A HEIGHT OF SIX FEET ABOVE GRADE LEVEL. [AMENDED 12-10-2019 BY ORD. NO. MC-5232] (§ 870-197 C.)
 - FENCES AND WALLS SHALL BE REQUIRED TO COMPLEMENT THE STRUCTURAL STYLE, COLOR, AND DESIGN OF THE PRINCIPAL BUILDING. (§ 870-197 H.)
 - PLANTINGS SHALL BE CONSIDERED AS PART OF ANY FENCING OR WALL PLAN. (§ 870-197 J.)
 - THE HEIGHT OF WALLS AND FENCES SHALL BE MEASURED FROM THE AVERAGE ELEVATION OF THE FINISHED GRADE ALONG THE BASE OF THE WALL OR FENCE TO ITS HIGHEST POINT. (§ 870-197 K.)

- EMERALD STREET**
(40' ROW WIDTH PER TAX MAP)
- THE APPLICANT REQUESTS ANY AND ALL SUBMISSION WAIVERS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN. TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT SAID SUBMISSION WAIVERS.
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ONE OF THE PERMITTING AGENCIES.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
 - THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT & PLANS.
 - SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
 - THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
 - ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
 - SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
 - ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
 - CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
 - ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C., ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH DYNAMIC ENGINEERING CONSULTANTS, P.C. WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
 - NEITHER THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENGINEERING CONSULTANTS, P.C., NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.

- DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS. COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DYNAMIC ENGINEERING'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT DYNAMIC ENGINEERING CONSULTANTS, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF DYNAMIC ENGINEERING CONSULTANTS, P.C. IN WRITING BY THE CONTRACTOR. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
- THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL THOSE AGREEMENTS.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.
- ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
- THE BUILDING SETBACK DIMENSIONS ILLUSTRATED AND LISTED ON THE SITE PLAN DRAWINGS ARE MEASURED FROM THE OUTSIDE SURFACE OF BUILDING WALLS. THESE SETBACK DIMENSIONS DO NOT ACCOUNT FOR ROOF OVERHANGS, ORNAMENTAL ELEMENTS, SIGNAGE OR OTHER EXTERIOR EXTENSIONS UNLESS SPECIFICALLY NOTED.
- CONTRACTOR ACKNOWLEDGES HE HAS READ AND UNDERSTOOD THE DESIGN PHASE SOIL PERMEABILITY AND GROUNDWATER TEST RESULTS IN THE STORMWATER MANAGEMENT REPORT AND THAT THE CONTRACTORS RESPONSIBILITIES INCLUDE NECESSARY PROVISIONS TO ACHIEVE THE DESIGN PERMEABILITY IN THE FIELD.
- CONTRACTOR TO BE ADVISED THAT THE ENGINEER WAS NOT PROVIDED WITH FINAL FLOOR PLAN DRAWINGS FOR THE BUILDING AT THE TIME OF SITE PLAN DESIGN. AS A RESULT, ENTRANCE DOOR LOCATIONS AS DEPICTED HEREON MAY NOT BE FINAL AND MUST BE CONFIRMED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. THE HANDICAP ACCESSIBLE PARKING SPACES AND THE ASSOCIATED RAMPS AND ACCESSIBLE ROUTE MUST COMPLY WITH NAC 523-7 AND THE HANDICAP PARKING SPACES MUST BE LOCATED AS THE NEAREST SPACES TO THE ENTRANCE. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.



THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

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SITE PLAN

TITLE: HEART OF CAMDEN PROPOSED MAKERSPACE ADDITION
BLOCK 480, LOT 27
1811 BROADWAY
CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY

PROJECT: HEART OF CAMDEN PROPOSED MAKERSPACE ADDITION
BLOCK 480, LOT 27
1811 BROADWAY
CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY

JOB No: 4688-23-01705
DATE: 04/17/2024
DRAWN BY: AMN
SCALE: (H) 1"=10'
(V)
DESIGNED BY: MJP
SHEET No:
CHECKED BY: RTO
CHECKED BY: -

RICHARD T. ORTIZ
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 60149

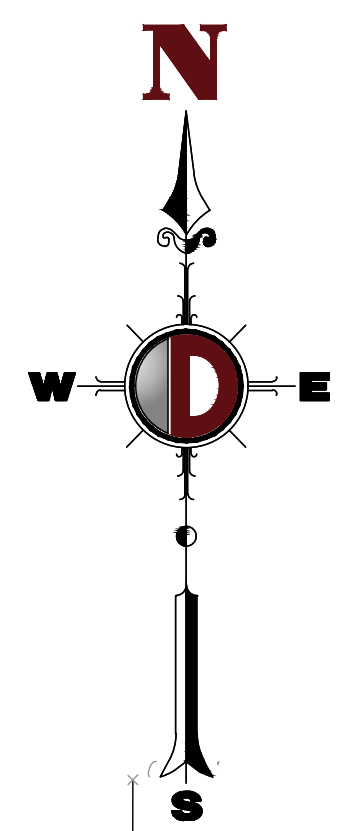
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Rev. # 0

GRADING/UTILITY GRAPHIC LEGEND

<p>EXIST. GUY WIRE</p> <p>EXIST. LIGHT POLE</p> <p>EXIST. BUILDING LIGHT</p> <p>EXIST. SHOE BOX LIGHT</p> <p>EXIST. COBRA LIGHT POLE</p> <p>EXIST. TRAFFIC SIGNAL POLE</p> <p>EXIST. MANHOLE</p> <p>EXIST. "A" INLET</p> <p>EXIST. "B" INLET</p> <p>EXIST. "C" INLET</p> <p>EXIST. YARD INLET</p> <p>EXIST. FLARED END SECTION</p> <p>EXIST. HEADWALL</p> <p>EXIST. UTILITY POLE</p>	<p>PROPERTY LINE (PARCEL IN QUESTION)</p> <p>OFF-SITE PROPERTY LINES</p> <p>EXIST. MONITORING WELL</p> <p>APPROX. TEST PIT LOCATION</p> <p>EXIST. FIRE HYDRANT</p> <p>EXIST. WATER VALVE</p> <p>EXIST. GAS VALVE</p> <p>EXIST. GAS METER</p> <p>EXIST. ELECTRIC METER</p> <p>EXIST. ELECTRIC BOX</p> <p>EXIST. CLEAN OUT</p> <p>EXIST. WELL</p> <p>EXIST. WATER SHUT OFF VALVE</p> <p>EXIST. TELEPHONE BOX</p> <p>EXIST. CABLE TV BOX</p> <p>PROP. HEADWALL</p>	<p>PROP. WATER VALVE</p> <p>PROP. GAS VALVE</p> <p>PROP. STORM CLEANOUT</p> <p>PROP. SANITARY CLEANOUT</p> <p>PROP. AREA LIGHT</p> <p>PROP. OUTLET CONTROL STRUCTURE</p> <p>PROP. DRAINAGE MANHOLE</p> <p>PROP. SANITARY SEWER MANHOLE</p> <p>PROP. "A" INLET</p> <p>PROP. "B" INLET</p> <p>PROP. "C" INLET</p> <p>PROP. YARD INLET</p> <p>PROP. FLARED END SECTION</p>	<p>EXIST. CABLE LINE</p> <p>PROP. CABLE LINE</p> <p>EXIST. ELECTRIC LINE</p> <p>PROP. ELECTRIC LINE</p> <p>EXIST. FIBER OPTIC LINE</p> <p>PROP. FIBER OPTIC LINE</p> <p>EXIST. GAS LINE</p> <p>PROP. GAS LINE</p> <p>EXIST. OVERHEAD WIRES</p> <p>PROP. OVERHEAD WIRES</p> <p>EXIST. TELEPHONE LINE</p> <p>PROP. TELEPHONE LINE</p> <p>EXIST. WATER LINE</p> <p>PROP. WATER LINE</p> <p>EXIST. FIRE SERVICE</p> <p>PROP. FIRE SERVICE</p>	<p>EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)</p> <p>PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)</p> <p>EXIST. SANITARY SEWER LINE</p> <p>PROP. SANITARY SEWER LINE</p> <p>EXIST. FORCE MAIN</p> <p>PROP. FORCE MAIN</p> <p>EXIST. STORM DRAIN LINE</p> <p>PROP. STORM DRAIN LINE</p> <p>EXIST. MINOR CONTOUR & ELEVATION</p> <p>EXIST. MAJOR CONTOUR & ELEVATION</p> <p>PROP. FINISH GRADE CONTOUR & ELEVATION</p> <p>PROP. DIRECTION OF DRAINAGE FLOW ARROW</p>	<p>EXIST. SPOT ELEVATIONS</p> <p>EXIST. GUTTER ELEV.</p> <p>EXIST. TOP OF CURB ELEV.</p> <p>EXIST. FINISH FLOOR ELEV.</p> <p>EXIST. GARAGE FLOOR ELEV.</p> <p>PROP. GRADE SPOT ELEV.</p> <p>PROP. TOP OF CURB & FINISHED GRADE ELEV.</p> <p>PROP. FINISHED FLOOR ELEV.</p> <p>PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)</p> <p>PROP. TOP OF EXTENDED CURB, (OH) FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB & (GL) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB</p>
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GRADING NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YELLING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST 1-1320. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITH THE STATE, BEFORE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING AND AREA AREAS HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL ISLAND GUTTERS, CURBS AND 1.0% ON ALL CONCRETE SURFACES, AND 1-1/2% MIN. ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY, PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
- SUBBASE MATERIAL FOR SIDEWALKS, CURBS, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- REFER TO SITE PLAN FOR ADDITIONAL NOTES.
- IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
- CONTRACTOR TO ENSURE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESS AISLES. CONTRACTOR TO ENSURE A MAXIMUM OF 5% RUNNING SLOPE AND 2% CROSS SLOPE ALONG ALL OTHER PORTIONS OF ON-SITE ACCESSIBLE ROUTE, WITH THE EXCEPTION OF RAMPS AND CURB RAMPS. CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR TO ENSURE ALL CHANGES IN LEVEL ALONG ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM HEIGHT OF 1/4" OR 1/2" WITH A BEVELED EDGE WITH A MAXIMUM SLOPE OF 1:2 (50%). CONTRACTOR TO ENSURE ALL GAPS ALONG ALL ACCESSIBLE ROUTES HAVE A MAXIMUM WIDTH OF 1/2", PLACED SO THE LONG DIMENSION IS PERPENDICULAR TO THE PATH OF TRAVEL.
- CONTRACTOR TO REFER TO LATEST ADA GUIDELINES AND BUILDING CODE FOR ON-SITE ACCESSIBILITY REQUIREMENTS. CONTRACTOR TO REFER TO LATEST PROWAG GUIDELINES FOR ACCESSIBILITY REQUIREMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
- THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.

UTILITY NOTES

- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK-OUT THEIR UTILITIES.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
- WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- ALL WATER MAIN SHALL BE CEMENT-LINED, CLASS 52 DUCTILE IRON PIPE, UNLESS OTHERWISE DESIGNATED.
- THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICES SHALL BE 1 INCH.
- ALL SANITARY SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER MAIN AT LEAST 18 INCHES BELOW THE WATER MAIN OR SUCH OTHER SEPARATION AS APPROVED BY THE APPROVING AUTHORITY. WHERE APPROPRIATE CROSSING SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE PLACED IN CONCRETE OR CONSTRUCTION OF PIPE ON JOINTS FOR AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER MAIN AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL STRUCTURAL SUPPORT FOR SEWER CROSSING OVER SEWER LINES.
- ALL SANITARY SEWER MAINS SHALL BE SDR-35 PVC PIPE MATERIAL UNLESS OTHERWISE DESIGNATED. SEWER PIPES INSTALLED WITH LESS THAN 3 FEET OF COVER, GREATER THAN 20 FEET OF COVER OR WITHIN 18 INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. ALL DUCTILE IRON SEWER PIPE SHALL BE CEMENT-LINED, CLASS 52 PIPE, FURNISHED WITH SEWER COAT, OR APPROVED EQUAL.
- WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10' DEEP AT CONNECTION TO THE SEWER MAIN, CONCRETE DEEP LATERAL CONNECTIONS ARE TO BE UTILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE STABILIZATION OF THE EXISTING SEWER MAIN, STRUCTURES AND APPURTENANCES DURING CONNECTION.
- LOCATION & LAYOUT OF GAS, ELECTRIC & TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE. ACTUAL LOCATION & LAYOUT OF THESE UTILITIES & SERVICES ARE TO BE PER THE APPROPRIATE UTILITY PROVIDER.
- ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED W/ ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
- ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS.
- ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS III, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELLIPTICAL STORM PIPE TO CONFORM TO ASTM C-507, CLASS III, UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MORJOR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C-590 TO BE UTILIZED TO PROVIDE A SILT-TIGHT JOINT. WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATER-TIGHT AND CONFORM TO ASTM C-443.
- HOPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306. SOLID PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM D3212. PERFORATED PIPE SHALL HAVE GASKETED SILT-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HOPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HOPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURE RECOMMENDATIONS.
- HP DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2736 (12"-30" PIPE) AND ASTM F2881 (36"-60" PIPE). PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 AND ASTM F477. FIELD WATER-TIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2467. HP PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HP STORM PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURE RECOMMENDATIONS.
- PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.

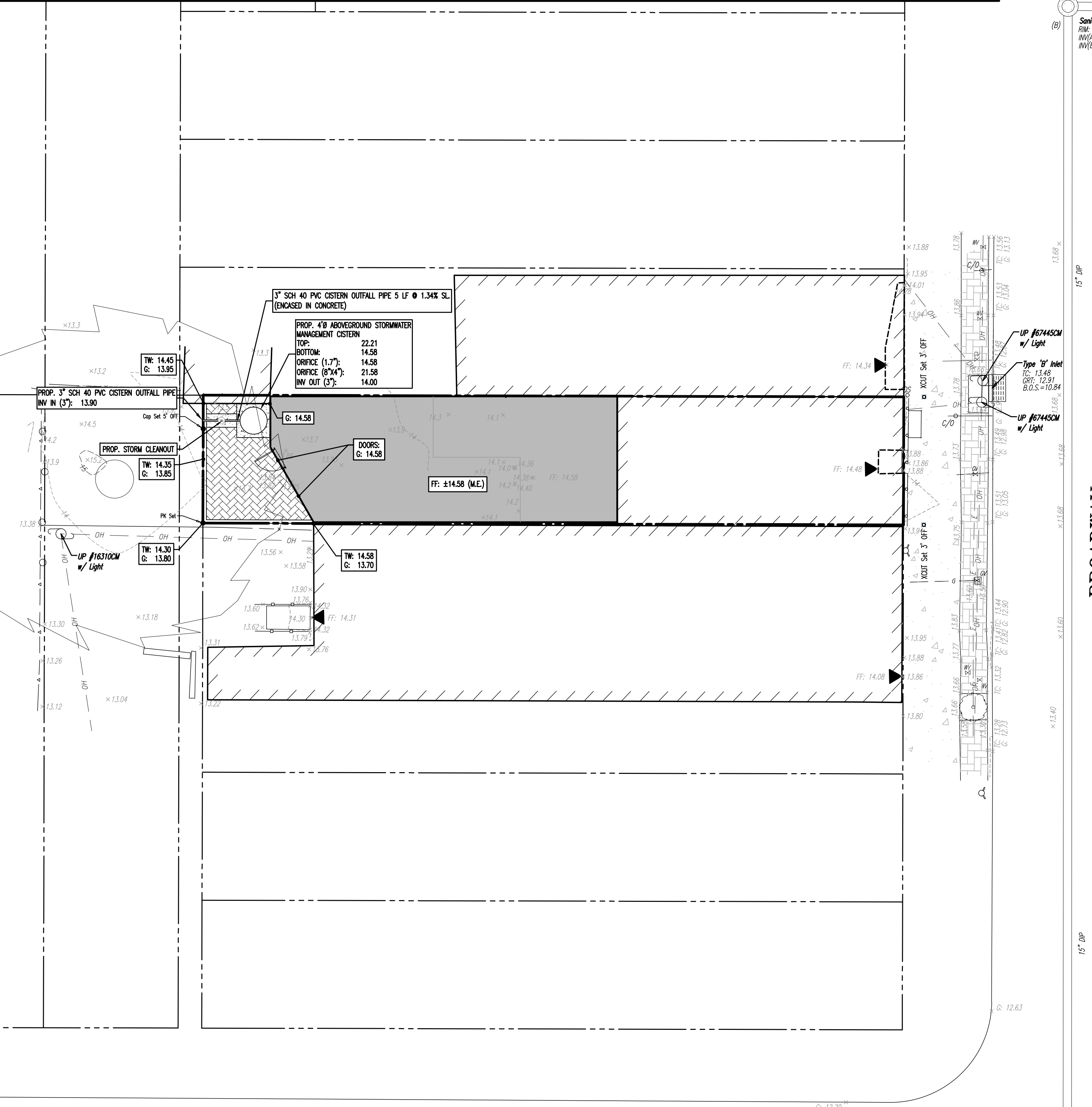
EXISTING UTILITY NOTES

- EXISTING WATER SERVICE NOTE:** CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING WATER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL WATER COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL WATER COMPANY PRIOR TO COMPLETION. IF THE EXISTING WATER SERVICE CAN NOT BE UTILIZED, THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL WATER COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.
- EXISTING GAS SERVICE NOTE:** CONTRACTOR TO LOCATE AND UTILIZE EXISTING GAS SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING GAS SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL GAS COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL GAS COMPANY PRIOR TO COMPLETION. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.
- SANITARY SEWER SERVICE NOTE:** CONTRACTOR TO LOCATE AND UTILIZE EXISTING SEWER SERVICE CONNECTION IF OF ADEQUATE SIZE AND INTEGRITY AND ACCEPTABLE TO LOCAL SEWER AUTHORITY. OTHERWISE CONTRACTOR TO REMOVE EXISTING SEWER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL SEWER AUTHORITY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL SEWER AUTHORITY PRIOR TO COMPLETION. IF EXISTING SEWER SERVICE CAN NOT BE UTILIZED THEN THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL SEWER AUTHORITY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

DRAINAGE NOTES

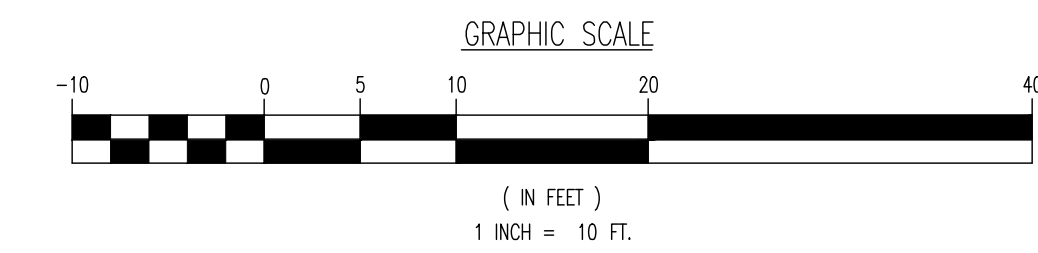
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Plotted: 04/17/24 - 1:56 PM, By: uvercoe, Product Ver: 24.3s (LMS Tech), File: P:\VEPCP PROJECTS\4688 Heart of Camden - Broadway\DWG\Site Plans\05 GRADING DRAINAGE AND UTILITY PLAN



EMERALD STREET
(40' ROW WIDTH PER TAX MAP)

EXISTING UTILITIES TO REMAIN UNCHANGED



THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

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TITLE: GRADING, DRAINAGE AND UTILITY PLAN

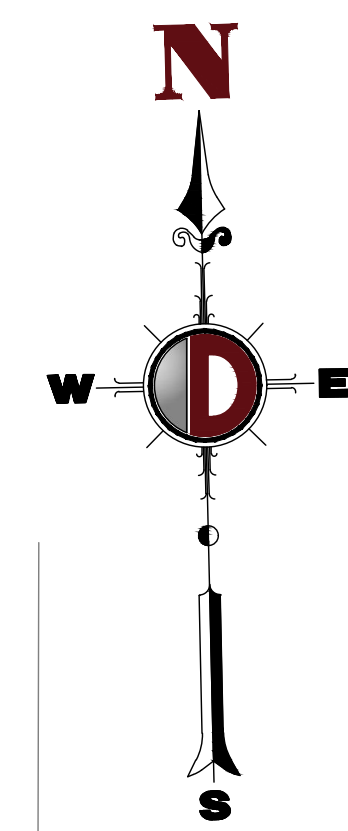
PROJECT: **HEART OF CAMDEN PROPOSED MAKERSPACE ADDITION**
BLOCK: 480, LOT: 27
1811 BROADWAY
CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY

JOB No: 4688-23-01705 (DATE: 04/17/2024)
DRAWN BY: AMN (SCALE: (H) 1"=10' (V))
DESIGNED BY: MJP (SHEET No: 5)
CHECKED BY: RTO
CHECKED BY: -

RICHARD T. ORTIZ PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 60149
RODMAN R. RITCHIE PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 43547

PROTECT YOURSELF
ALL STATE REQUIREMENTS OF CONTRACTORS, ARCHITECTS, OR ANY OTHER PROFESSIONAL MUST BE MET PRIOR TO ANY WORK.
FOR STATE REQUIREMENTS VISIT: WWW.CALL811.COM

Rev. # 0



GENERAL NOTES

- THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
- REFER TO ARCHITECTURAL PLANS FOR SITE WIRING DIAGRAM.
- THIS PLAN IS PREPARED SPECIFICALLY TO ANALYZE THE LIGHTING LEVELS GENERATED BY THE PROPOSED ON-SITE LIGHTING ONLY. EXISTING LIGHT FIXTURES BEYOND THE EXTENTS OF THIS DEVELOPMENT/PROPERTY ARE NOT MODELLED IN THIS DESIGN, AND MAY ALTER ACTUAL LIGHT LEVELS AT THE PROPERTY LINES.

LIGHTING LUMINAIRE SCHEDULE									
SYMBOL	QUANTITY	LABEL	WATTAGE	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	MANUFACTURER	DESCRIPTION	IES FILE
WPK	1	WPKO-ALD-1	6.238	8 FT	SINGLE	1.000	LITHONIA LIGHTING	WPKO LED ALD-1 30K MWOL	WPKO LED ALD-1 30K MWOL.dwg

ISO CURVES ARE MAINTAINED AND SHOWN AT 1.0, 0.5, AND 0.1 FC.
 (FM) - FLUSH MOUNT FOUNDATION (PED) - PEDESTAL FOUNDATION
 THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

STATISTICAL AREA SUMMARY				
LABEL	AVERAGE	MAXIMUM	MINIMUM	DESCRIPTION
PATIO	2.03	4.7	0.5	ILLUMINATION LEVELS WITHIN PATIO
PIQ	2.03	4.7	0.5	ILLUMINATION LEVELS WITHIN PROPERTY

WPKO LED Wall Pack

Specifications

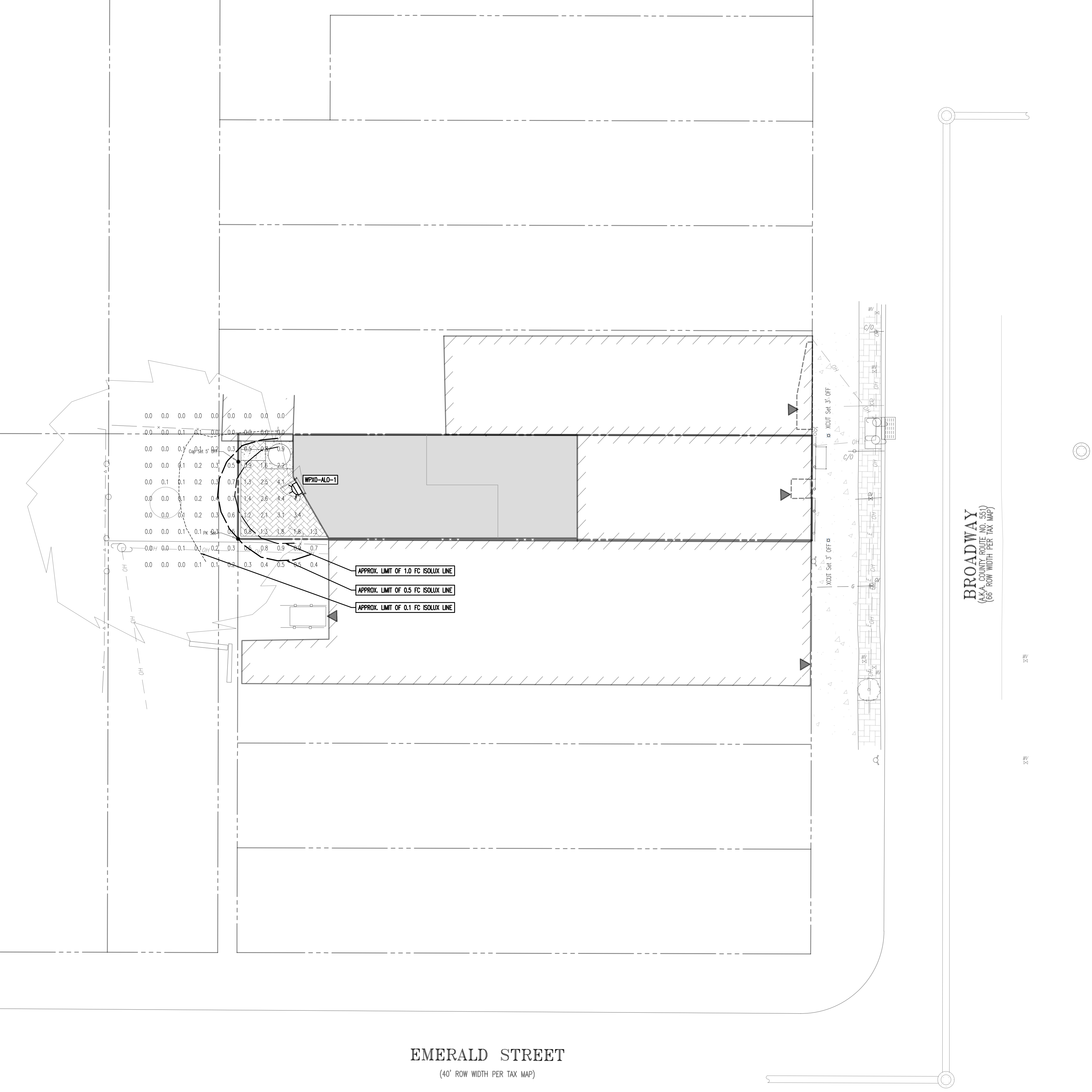
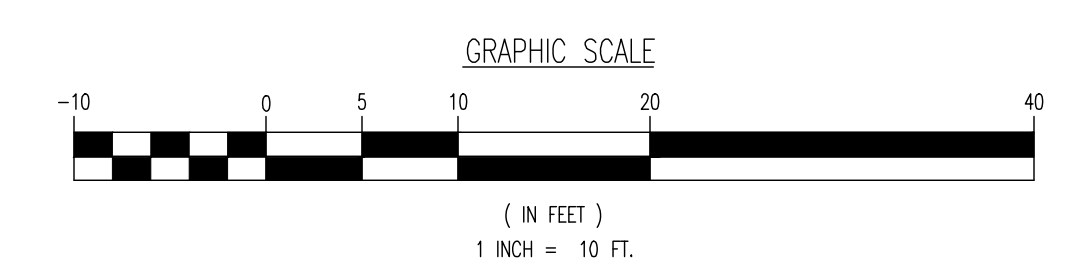
- Height: 12"
- Width: 5.1"
- Weight: 3.5 lbs

Performance Data

Beam Angle	Beam Diameter @ 100'	Beam Diameter @ 200'	Beam Diameter @ 300'	Beam Diameter @ 400'	Beam Diameter @ 500'	Beam Diameter @ 600'	Beam Diameter @ 700'	Beam Diameter @ 800'	Beam Diameter @ 900'	Beam Diameter @ 1000'
10°	10.0'	20.0'	30.0'	40.0'	50.0'	60.0'	70.0'	80.0'	90.0'	100.0'
15°	15.0'	30.0'	45.0'	60.0'	75.0'	90.0'	105.0'	120.0'	135.0'	150.0'
20°	20.0'	40.0'	60.0'	80.0'	100.0'	120.0'	140.0'	160.0'	180.0'	200.0'
25°	25.0'	50.0'	75.0'	100.0'	125.0'	150.0'	175.0'	200.0'	225.0'	250.0'
30°	30.0'	60.0'	90.0'	120.0'	150.0'	180.0'	210.0'	240.0'	270.0'	300.0'
35°	35.0'	70.0'	105.0'	140.0'	175.0'	210.0'	245.0'	280.0'	315.0'	350.0'
40°	40.0'	80.0'	120.0'	160.0'	200.0'	240.0'	280.0'	320.0'	360.0'	400.0'
45°	45.0'	90.0'	135.0'	180.0'	225.0'	270.0'	315.0'	360.0'	405.0'	450.0'
50°	50.0'	100.0'	150.0'	200.0'	250.0'	300.0'	350.0'	400.0'	450.0'	500.0'
55°	55.0'	110.0'	165.0'	220.0'	275.0'	330.0'	385.0'	440.0'	495.0'	550.0'
60°	60.0'	120.0'	180.0'	240.0'	300.0'	360.0'	420.0'	480.0'	540.0'	600.0'
65°	65.0'	130.0'	195.0'	260.0'	325.0'	390.0'	455.0'	520.0'	585.0'	650.0'
70°	70.0'	140.0'	210.0'	280.0'	350.0'	420.0'	490.0'	560.0'	630.0'	700.0'
75°	75.0'	150.0'	225.0'	300.0'	375.0'	450.0'	525.0'	600.0'	675.0'	750.0'
80°	80.0'	160.0'	240.0'	320.0'	400.0'	480.0'	560.0'	640.0'	720.0'	800.0'
85°	85.0'	170.0'	255.0'	340.0'	425.0'	510.0'	595.0'	680.0'	765.0'	850.0'
90°	90.0'	180.0'	270.0'	360.0'	450.0'	540.0'	630.0'	720.0'	810.0'	900.0'

Lighting Details

Lighting Details
NOT TO SCALE



EMERALD STREET
 (40' ROW WIDTH PER TAX MAP)

BROADWAY
 (66' ROW WIDTH PER TAX MAP)

Plotted: 04/17/24 - 1:56 PM, By: uverose, Product: Ver: 24.3s (LMS Tech) File: P:\BECPC PROJECTS\HEART OF CAMDEN - Broadway\DWG\Site Plans\046882301705510.dwg, ---> 06 LIGHTING PLAN

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 1000 Route 100, Suite 100, Camden, NJ 08105 | Phone: 856.334.2000 | Fax: 856.334.2001

5 Conestoga Centre, Suite 408
 Marlton, NJ 08053
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TITLE: LIGHTING PLAN

PROJECT: **HEART OF CAMDEN PROPOSED MAKERSPACE ADDITION**
 BLOCK 480, LOT 27
 1811 BROADWAY
 CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY

JOB No: 4688-23-01705 | DATE: 04/17/2024
 DRAWN BY: AMN | SCALE: (H) 1"=10' (V)
 DESIGNED BY: MJP | SHEET No:
 CHECKED BY: RTO
 CHECKED BY: -

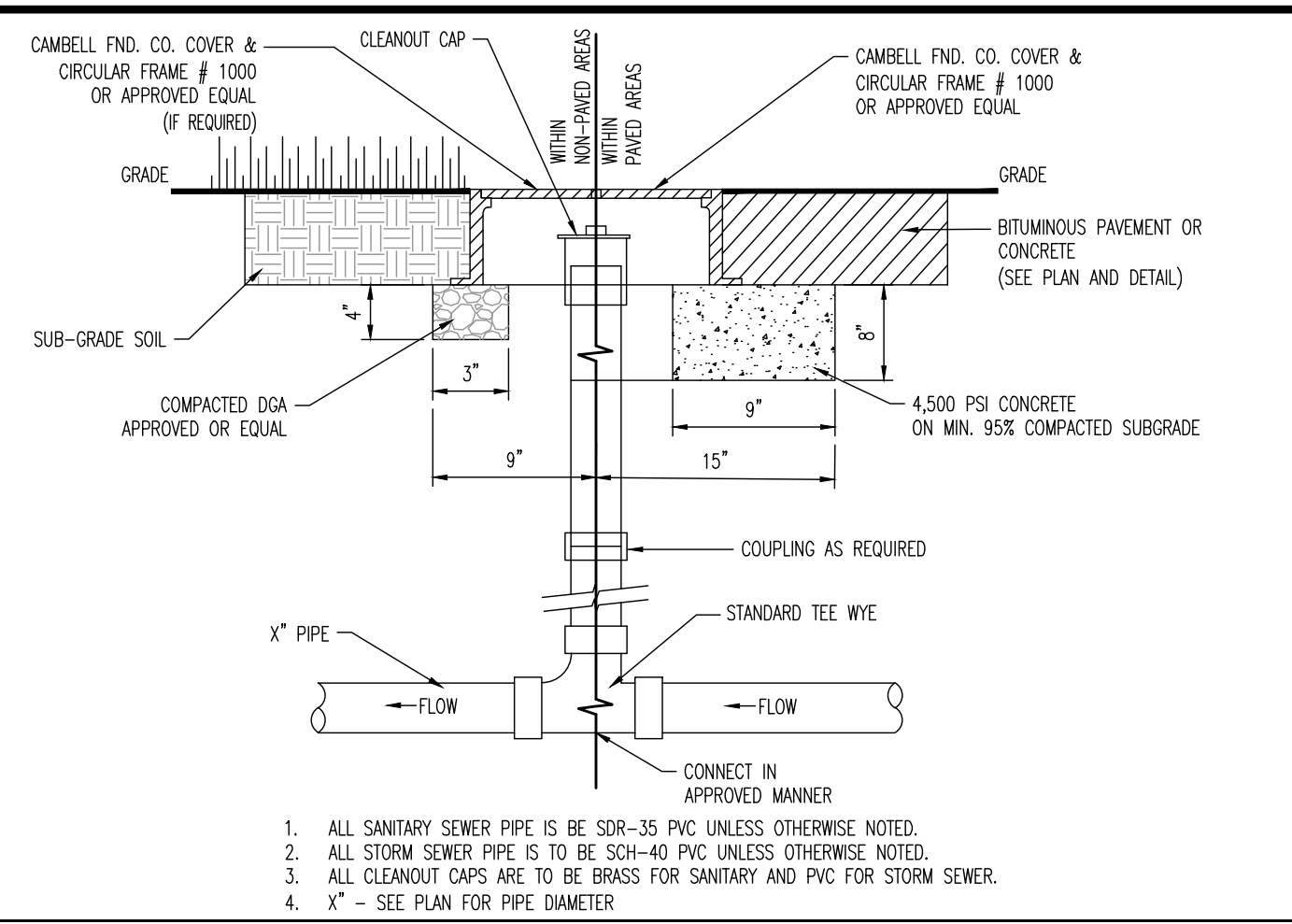
RICHARD T. ORTIZ
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 60149

RODMAN R. RITCHIE
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 43547

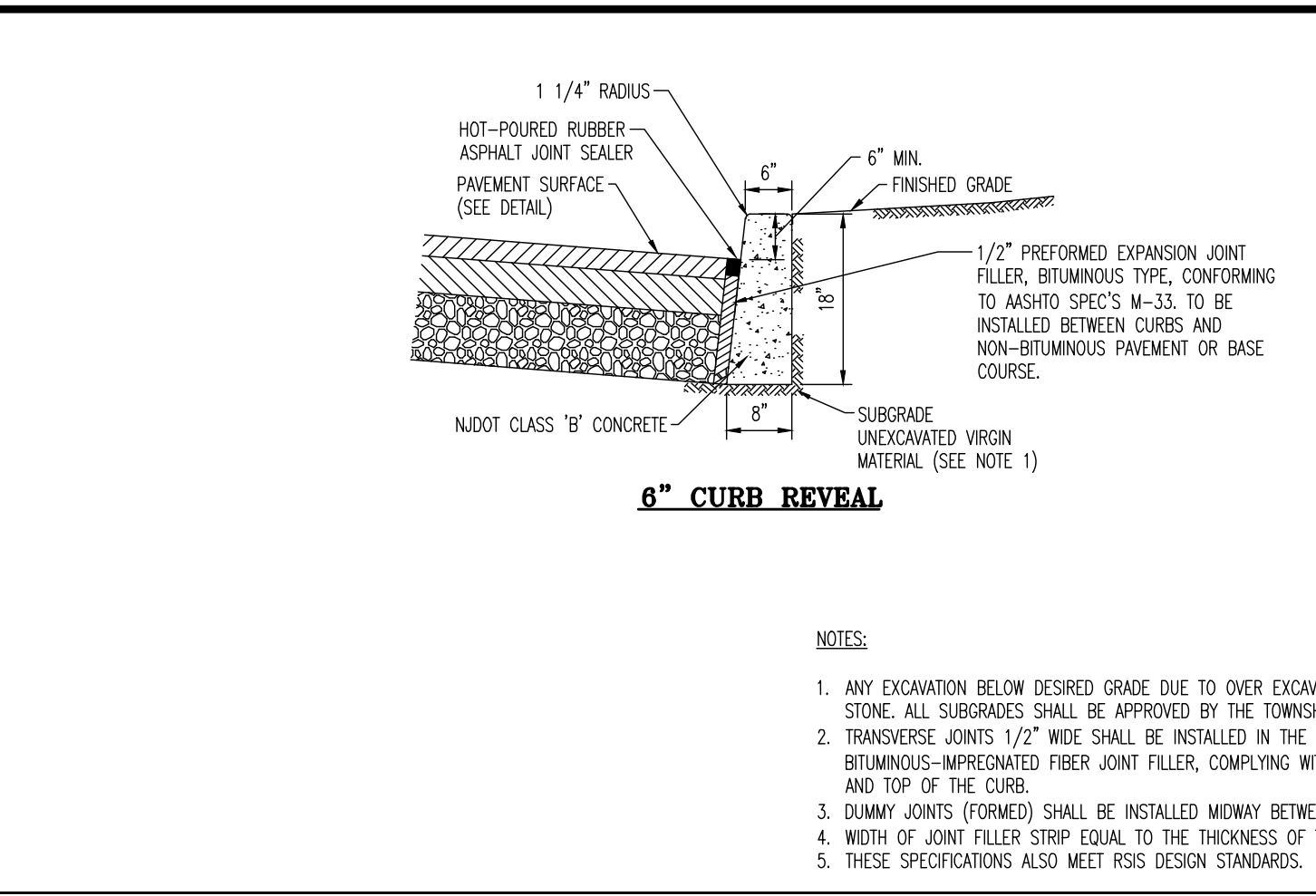
811
 PROTECT YOURSELF
 ALL STATES REQUIRE NOTIFICATION OF
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 IMMEDIATELY AND CALL 811.
 FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:
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6
 OF 7

Rev. # 0



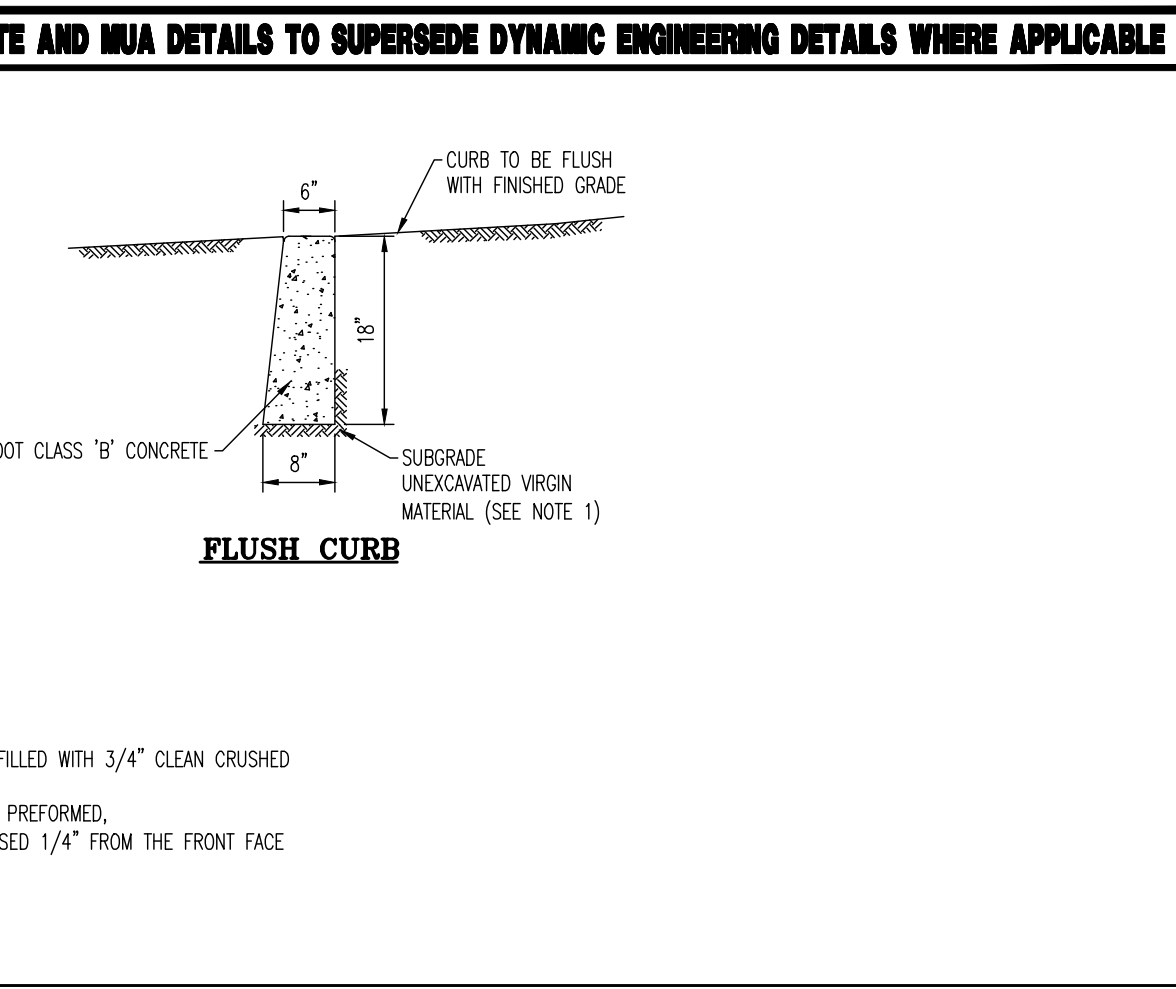
CLEANOUT DETAIL
NOT TO SCALE



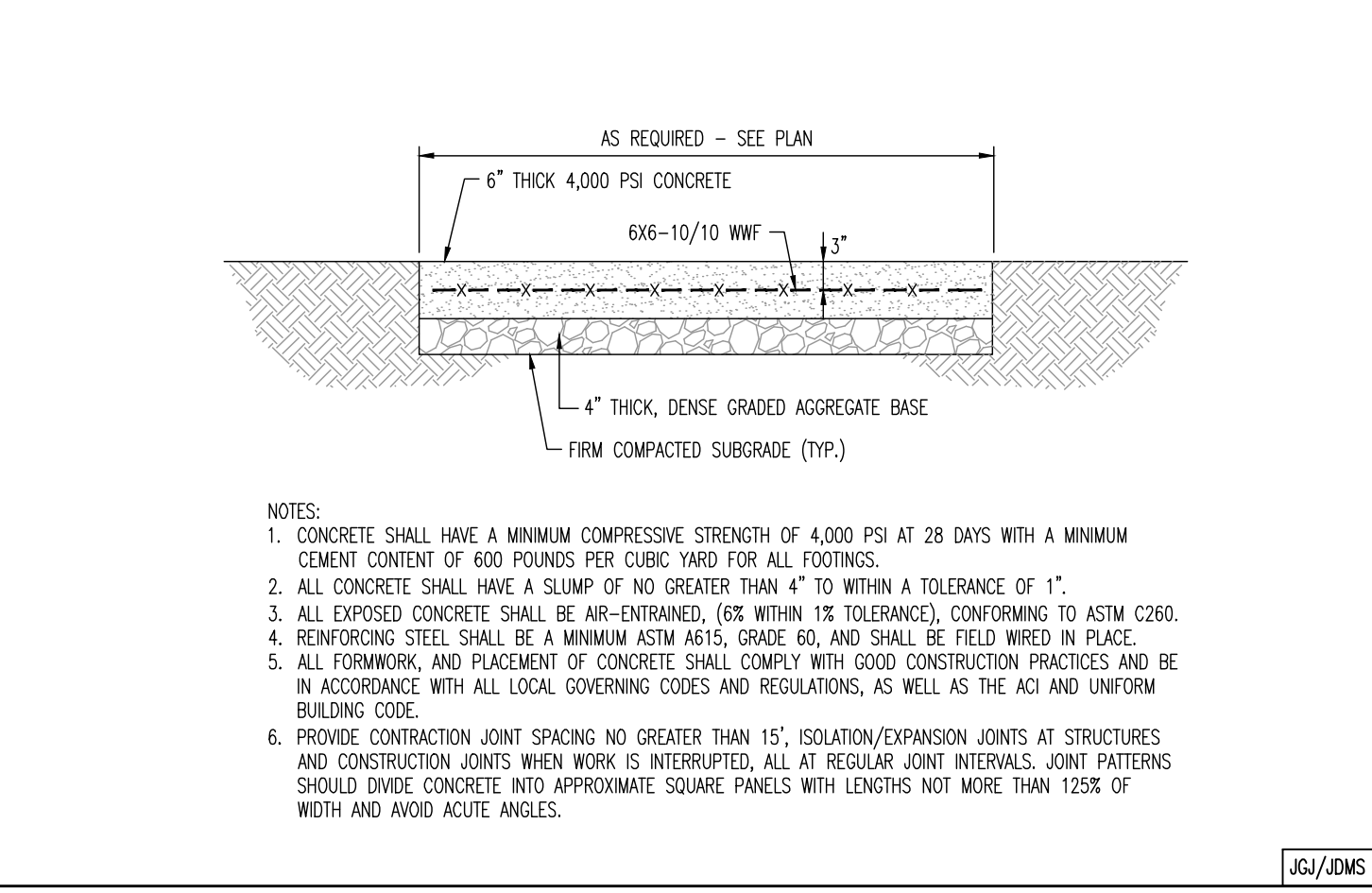
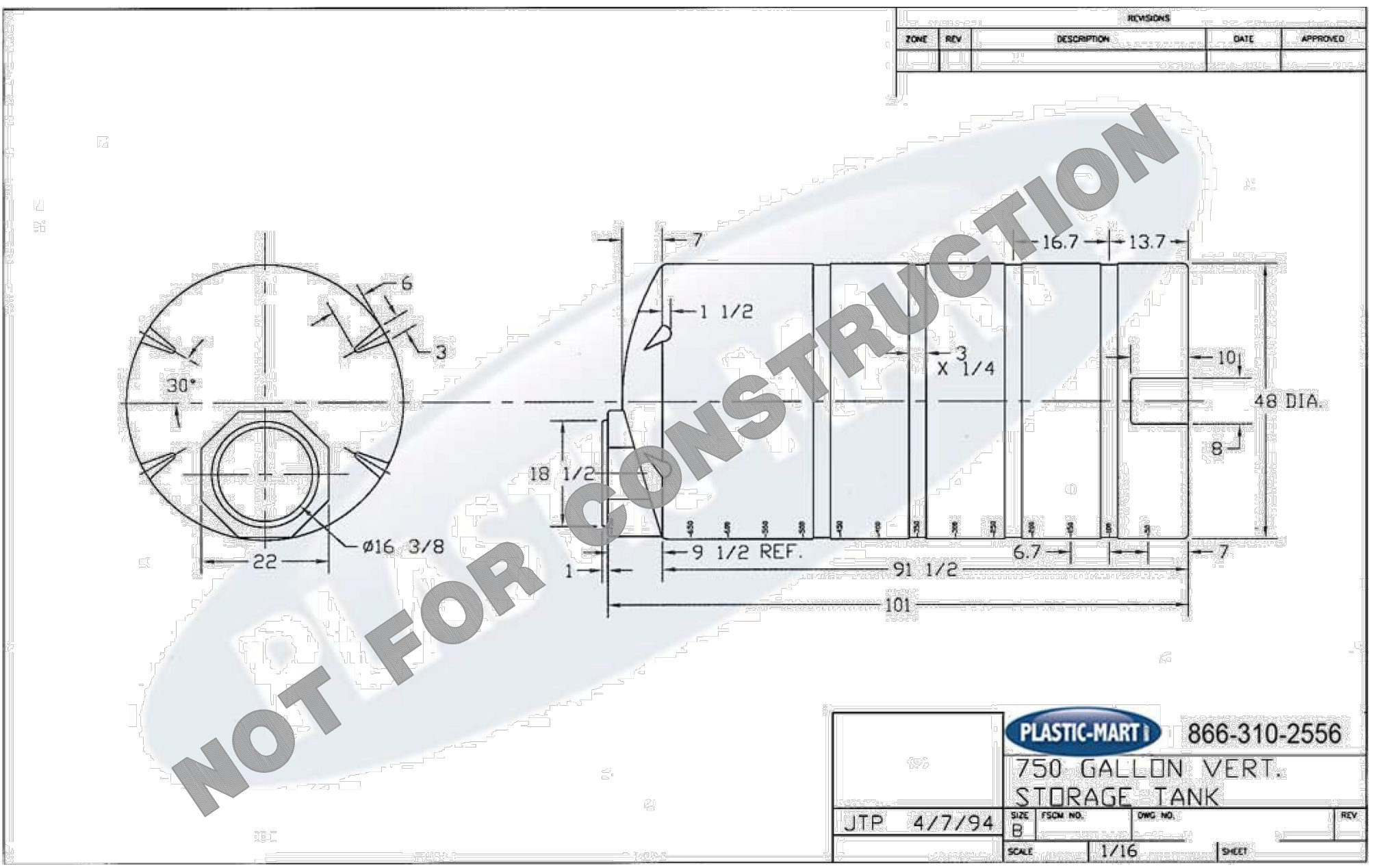
6\" CURB REVEAL

- NOTES:
1. ANY EXCAVATION BELOW DESIRED GRADE DUE TO OVER EXCAVATION OR WET SOIL CONDITIONS SHALL BE BACKFILLED WITH 3/4\" CLEAN CRUSHED STONE. ALL SUBGRADES SHALL BE APPROVED BY THE TOWNSHIP ENGINEER PRIOR TO POURING.
 2. TRANSVERSE JOINTS 1/2\" WIDE SHALL BE INSTALLED IN THE CURB 20\"-0\" APART AND SHALL BE FILLED WITH PREFORMED, BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF AASHTO-213, RECESSED 1/4\" FROM THE FRONT FACE AND TOP OF THE CURB.
 3. DUMMY JOINTS (FORMED) SHALL BE INSTALLED MIDWAY BETWEEN EXPANSION JOINTS.
 4. WIDTH OF JOINT FILLER STRIP EQUAL TO THE THICKNESS OF THE PAVEMENT LESS 1/2\".
 5. THESE SPECIFICATIONS ALSO MEET RISIS DESIGN STANDARDS.

CONCRETE CURB DETAIL
NOT TO SCALE

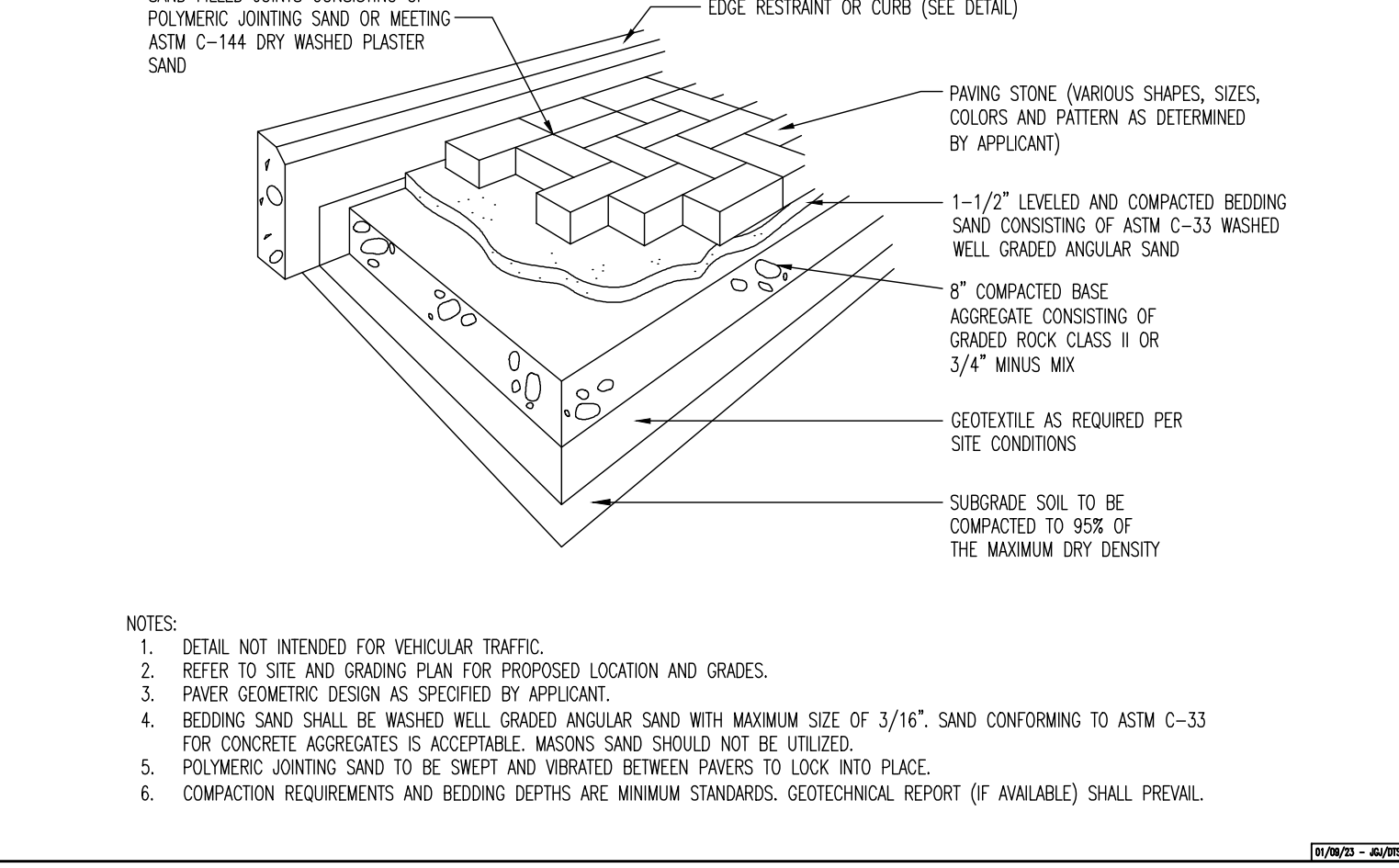


FLUSH CURB

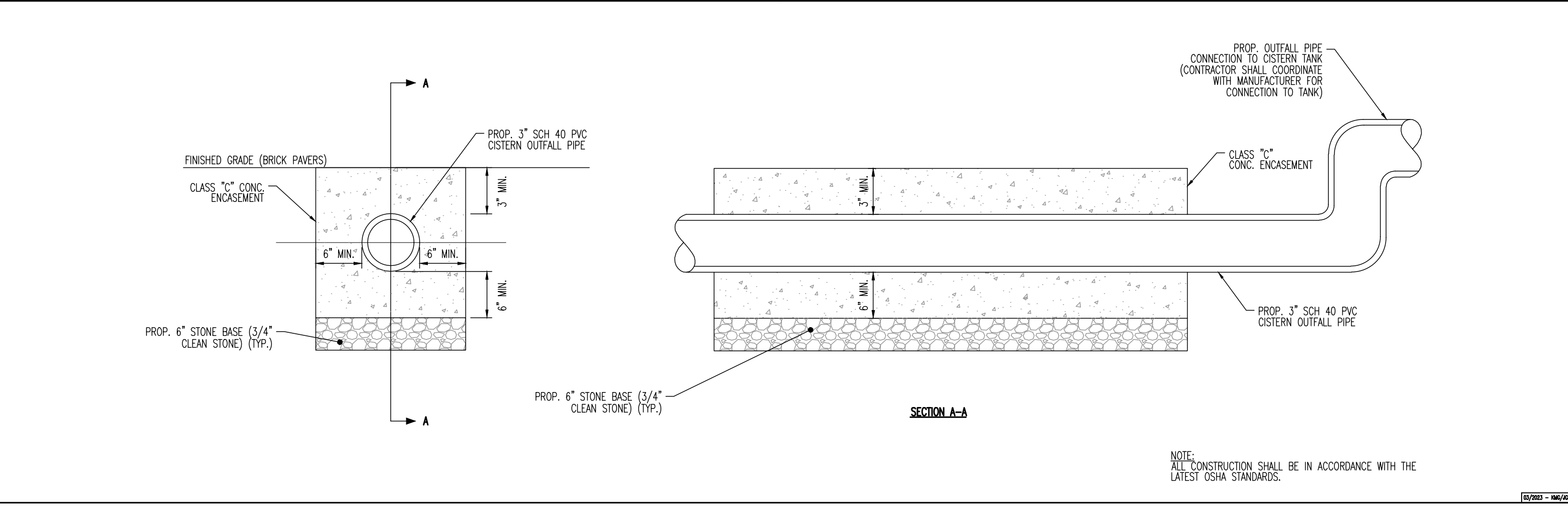


- NOTES:
1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS WITH A MINIMUM CEMENT CONTENT OF 600 POUNDS PER CUBIC YARD FOR ALL FOOTINGS.
 2. ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4\" TO WITHIN A TOLERANCE OF 1\".
 3. ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED, (6% WITHIN 1% TOLERANCE), CONFORMING TO ASTM C260.
 4. REINFORCING STEEL SHALL BE A MINIMUM ASTM A615, GRADE 60, AND SHALL BE FIELD WIRE IN PLACE.
 5. ALL FORMWORK, AND PLACEMENT OF CONCRETE SHALL COMPLY WITH GOOD CONSTRUCTION PRACTICES AND BE IN ACCORDANCE WITH ALL LOCAL GOVERNING CODES AND REGULATIONS, AS WELL AS THE ACI AND UNIFORM BUILDING CODE.
 6. PROVIDE CONTRACTION JOINT SPACING NO GREATER THAN 15', ISOLATION/EXPANSION JOINTS AT STRUCTURES AND CONSTRUCTION JOINTS WHEN WORK IS INTERRUPTED, ALL AT REGULAR JOINT INTERVALS. JOINT PATTERNS SHOULD DIVIDE CONCRETE INTO APPROXIMATE SQUARE PANELS WITH LENGTHS NOT MORE THAN 125% OF WIDTH AND AVOID ACUTE ANGLES.

CONCRETE PAD DETAIL
NOT TO SCALE



BRICK/CONCRETE PAVER SIDEWALK/PATIO DETAIL
NOT TO SCALE



CONCRETE ENCASEMENT DETAIL
NOT TO SCALE

Plotted: 04/17/24 - 1:56 PM, By: lverose, Product: Ver: 24.3s (LMS Tech), File: P:\BECPC PROJECTS\4688 Heart of Camden\23-01705 Camden - Broadway\DWG\Site\07 CONSTRUCTION DETAILS

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TITLE: **CONSTRUCTION DETAILS**

PROJECT: **HEART OF CAMDEN PROPOSED MAKERSPACE ADDITION**
BLOCK 480, LOT 27
1811 BROADWAY
CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY

JOB No: 4688-23-01705
DATE: 04/17/2024
DRAWN BY: AMN
SCALE: (H) NOT TO (V) SCALE
DESIGNED BY: MJP
SHEET No:
CHECKED BY: RTO
7
CHECKED BY: -

RICHARD T. ORTIZ
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 60149

RODMAN R. RITCHIE
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 43547

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